

**Agenda**  
**City of Olive Branch**  
**Planning Commission Meeting**  
**6:00 PM**  
**December 9, 2025**

This meeting will be live-streamed and recorded on the City's YouTube channel at <https://www.youtube.com/@cityofob>.

**Call to Order:**

**Roll Call:**

**Approval of Minutes:**

1. Minutes from Meeting of November 12, 2025

**Old Business:**

1. Application for a Preliminary Plat for Fox Paw Creek Subdivision, submitted by Chance Walker, Smith-Walker LLC, on behalf of property owner Cynthia Fox, Trustee. The request is to subdivide 108.0+/-acres into 262 lots and 6 Common Open Spaces. The subject property has an accompanying application request to rezone from A-R, Agricultural-Residential District, to R-2, Single-Family Residential District and is located on the west side of Davidson Rd, approximately 0.25 mile south of Goodman Rd. (Tabled at Meeting of November 12, 2025). (File # SD25-0034).
2. Application for a Zoning Map Amendment, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to rezone 2.06+/- acres from M-2, Heavy Industrial District, to C-2, Highway Commercial District, for the purpose of establishing a medical clinic at this location. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd. (Tabled at Meeting of November 12, 2025). (File# ZP25-0012).
3. Application for a Final Plat for Prasad Rheumatology Subdivision, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to subdivide 2.06+/-acres into a single lot. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd. (Tabled at Meeting of November 12, 2025). (File# SD25-0031).

**New Business:**

1. Application to amend Preliminary Plat Approval Condition number 6 of Rosewood Subdivision, submitted by Chance Walker, Smith-Walker Engineering, on behalf of property owner Jon Reeves. The request is to reduce the minimum heated area of houses in the Agricultural-Residential District (A-R) zoned areas in the north of the subdivision from 3000 sq. ft. to 2800 sq. ft. and to decrease the minimum heated area of houses in all other areas of the subdivision from 3000 sq. ft. and 2800 sq. ft. to 2400 sq. ft. The 82.37+/- acre subject property is zoned A-R and R-1, (Single-Family Residential District) and is located on the east side of Craft Road and north of College Road, known as 7200 College Road. (File # SD-25-0039).
2. Application for a Final Plat for Ansley Point Subdivision, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to create two residential lots totalling 0.82+/-acres. The subject property is zoned R-1, Single-Family Residential District. The property is located at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. (File # SD-25-0036).
3. Application for a Final Plat for Malco Olive Branch Subdivision, Phase 3, submitted by

Caleb Gill, Civil-Link, on behalf of property owner Mike Bailey. The request is to create a single commercial lot of 3.22+/-acres. The subject property is zoned C-4, Planned Commercial District, and is located at the south end of Grandiflora Drive, and north of Goodman Road. (File #SD-25-0038).

4. Application to Amend the Project Text for The Oaks at Parkview Heights PUD, submitted by David Baker, Fisher Arnold, Inc., on behalf of property owner, Trey Hart, Mainland MCA Olive Branch, LLC. The request is to change the permitted uses from Memory Care and Assisted Living Facility to detached Single Family Residential in Area 3B. The subject property is zoned PUD, Planned Unit Development, and the 6.99+/-acre Area 3B is located on the west side of Parkview Blvd, and south of Goodman Road, known as 6755 and 6785 Parkview Blvd. (File # PD-25-0002).
5. Application for a Preliminary Plat for The Crossings at Olive Branch Subdivision, submitted by Mike Davis, The Reaves Firm, on behalf of Cooper Realty Investments Inc, property owner. The request is to subdivide 41.5+/-acres into 7 lots. The subject property is zoned C-2, Highway Commercial District, and is located at the southwest corner of Hwy 302 and Hacks Cross Road. (File # SD-25-0037).
6. Application to Amend the Project Text for Robinson Crossing PUD and preliminary development plan for Area 9, submitted by Shane King, Houston Engineering, on behalf of property owners Barry Bridgforth and Pleasant Hill Land and Development Company. The request includes preliminary development plan and stipulations for permitted convenience store with fuel pumps and layout plan for car wash as a standalone use. The 5.72+/-acre subject Area 9 is zoned PUD, Planned Unit Development, and is located at the southeast corner of Church Road and Malone Road. (File # PD-25-0001).

## **Adjournment**

**MINUTES FOR THE CITY OF OLIVE BRANCH PLANNING COMMISSION  
REGULAR MEETING NOVEMBER 12, 2025**

The Olive Branch Planning Commission meeting was held on Wednesday, November 12, 2025, in the Municipal Court Room located at 6900 Highland Street, at 6:00 p.m.

**CALL TO ORDER**

The meeting was called to order by Mr. Dorr, Chairman of Planning Commission, at 6:00 p.m.

**ROLL CALL**

Janice Lewis, Dion Jones, Diane Senger, Pat Dorr, Donny Singh and Mark Long were present, and a quorum was established. Steve Stratton was absent. Venard Asongayi, Director, Kevin Norman, Senior Planner, Jeremiah McCroskey, Associate Planner, and Heather James, Planning Technician, were present from the Planning and Development Department.

**APPROVAL OF THE MINUTES OF THE OCTOBER 14, 2025 MEETING**

Mr. Dorr asked if anyone had any questions, comments or motions regarding the minutes of the October 14, 2025 meeting. **Mr. Jones made a motion to approve the minutes as presented. Mrs. Lewis made the second and the motion was approved as follows:**

<b>Pat Dorr</b>	<b>Yes</b>	<b>Steve Stratton</b>	<b>Yes</b>	<b>Donny Singh</b>	<b>Yes</b>	<b>Dion Jones</b>	<b>Yes</b>
<b>Janice Lewis</b>	<b>Yes</b>	<b>Mark Long</b>	<b>Absent</b>	<b>Diane Senger</b>	<b>Absent</b>		

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**CONSENT AGENDA**

**OLD BUSINESS**

**NEW BUSINESS**

1. Application for a Zoning Map Amendment, submitted by submitted by Chance Walker, Smith-Walker LLC, on behalf of property owner Cynthia Fox, Trustee. The request is to rezone 108.0+/-acres from A-R, Agricultural-Residential District, to R-2, Single-Family Residential District for the purpose of creating Fox Paw Creek, a residential subdivision. The subject property is located on the west side of Davidson Rd, approximately 0.25 mile south of Goodman Rd. (File # ZP25-0013).

- **APPLICATION SUMMARY**

The applicant, Chance Walker, Smith-Walker LLC, on behalf of property owner Cynthia Fox, Trustee, has submitted for consideration a request to rezone a ±108 ac tract on the west side of Davidson Rd from A-R, Agricultural Residential to the R-2, Single-Family Residential zoning district. The subject property is directly across from the intersection of Davidson Rd. and Timber Oaks Dr. The applicant has also submitted a concurrent preliminary plat application for the tract which reflects the intention to create a 262 detached single family residential subdivision to be known as “Fox Paw Creek Subdivision”. There is a 9,000sf minimum lot area requirement in the R-2, Single-Family Residential zoning district. Staff recommends three options for the Planning Commission’s consideration: denial of the request upon finding that the character of the area proximate to the subject property has not changed significantly to align with the requested R-2 Zoning District; or approval upon finding that the character of the area remote to the concerned parcel has changed significantly that the R-2 Zoning District would align with, and there is a public need for the rezoning; or table the application till the City Engineer reviews the traffic study and makes other considerations

regarding improvements on Davidson Rd that would be practically associated with the development of the property under the R-2 Zoning District.

- **STAFF PRESENTATION**

Kevin Norman, Senior Planner, presented the staff report, which is included herein by reference (File # ZP25-0013).

- **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

Mr. Jones asked when the City Engineer planned to review the traffic study. Mr. Asongayi advised that it would be reviewed as soon as possible.

- **PUBLIC HEARING**

Mr. Dorr asked if anyone was present to speak about the application.

- **Proponents:**

- Jason Gambone, Garden Street Communities, 4749 W Petite Loop, Olive Branch, MS – He also introduced Chance Walker & John Vanderplum - His company is the lot developer for Adams Homes, the 31<sup>st</sup> largest builder in the US. They do builds all over the country and one of the largest builders in Olive Branch. They build all different price ranges and make them attainable in the market. This is a great project and one we can all be proud of. He advised there are 15,000 single family homes in Olive Branch. He disagreed with the presentation; they are not proposing 522 lots, but rather 262 lots, ranging in size from 9100 sq feet and up. Most are larger than that. All of the houses are facing inward. Nothing faces Davidson and there will be a 35-40 foot buffer along Davidson. Most of the lots back up to a green space in the development. There are waterways under review. If they are determined to be “blue line streams” they would require certain buffers. They’ve built in for that now. If the MDEQ determination is that some of these are not streams, the green space will be lessened and can potentially increase some of the lot sizes by adding depth. Can’t make them wider, but possibly can make them deeper by adding from the green space areas if they are not needed. He advised it’s very expensive to buy the land and costs money to develop. The total costs are distributed over the number of lots and they get a per lot cost. Any reduction in lot numbers, just increases the per lot cost and adds to the cost of the property and house. If it increases by too much, then it becomes less attainable by the consumer. He said the proposed site is a quarter mile from Goodman and the area was annexed in 1996. He said there have been numerous changes along Goodman since 1996. When there is no central sewer system, lots have to be larger because they are required to have their own septic systems. The city is now expanding those utilities into the previously annexed areas. He said the smaller lot subdivisions developed after sewer was available and the larger lots were required for private septic systems. The Comp Plan explains that sewer extension is the major factor in changing character of areas. This development is comparable to Ivy Trails, in terms of density. There will be a landscape buffer that will hide houses from view along Davidson. This is a better way of transitioning than with changes in lot

sizes. He said that building permits have dropped in Olive Branch because of the change in market. There is a national shortage of about 4 ½ million housing units. These are intended to be attainable houses, according to the market. They are estimating that the first houses will be built within 2 years. He said the traffic study shows 2029 as the estimated build out completion date, but he thinks it will be later than that. They are estimating that most of the traffic will use the northern entrance. Since there are no residences on the east side north of the entrance, it will have minimal impact. Post development, the traffic study shows all intersections remain functional levels of service. There are 5 lots across the street between 6070 & 6708 Davidson that are zoned commercial. The total trips generated from these 5 commercial lots, if medical or dental offices, would be more than the 262 residential lots. If 2 lots are developed as fast food restaurants, they exceed the traffic numbers for these 262 lots. The City Engineer has asked for certain improvements. There is a section of Davidson Rd (north of this property) that has been widened on the east side to about 30 feet. The Engineer has asked us to widen down to the front of the development. The City Engineer wants the street widened between the 2 entrances and wants to extend the sidewalk on the eastern side of Davidson and cross the road with a crosswalk to connect to the development for a possible future trail network that doesn't currently exist. This property is currently not generating any taxes. The buildout alone of 262 houses are estimated to generate over \$850,000 in taxes for the schools, county and city. This is not including the residents and the taxes the people would generate. It's a national problem that young families are being frozen out of the market. He said the HOA would maintain all the grass along Davidson Rd.

○ **Opponents:**

- Eugene Rose, 6070 Timber Oaks Dr, Olive Branch, MS. Regarding the sidewalk to be extended from where it ends. The road is already narrow and hard to pass. Larger trucks will be harder to get down. He said there are already too many people here. From Davidson Rd to Cayce Rd there are 22 red lights. He hopes there is a plan for the traffic. It backs up all the way into Olive Branch from outside the district. Start planning for what we already have. They must have the sidewalk added and widened.
- Jacobi Fentress, 6335 Autumn Oaks Dr, Olive Branch, MS. In Wedgewood, Autumn Oaks & Cherokee, the homes are \$800,000 to \$1M houses. The smaller house will bring crime. We don't want these houses. They will bring the value down. We've already accepted Captain D's and Popeye's with their grease and pollution. Police will be in an out of the development.
- Dante Salati, 6320 Autumn Oaks Dr, Olive Branch, MS. Agrees with previous commenter
- Trey Peters, 6634 Darren Dr, Olive Branch, MS. He's concerned about infrastructure. He think people will cut through Cherokee Meadows trying to get to Goodman and there are a number of small kids in the area. He said an analysis of Adams Homes is not the best feedback.

He believes they will lower property values. He also worries about school districting and rezoning.

- Steve Case, 6560 Davidson Rd, Olive Branch, MS – there are 2 roads in the plat. What is the city doing with the outlet roads? If there was another access point, there would be a lot of traffic on Davidson. The widening and buffer needs to be done first. Why can't all the lots be bigger? They want larger lots throughout the whole subdivision. He's worried about construction traffic and says Davidson Rd will be a mess. He was an electrical inspector for 16 years. Normally, they clear the whole area. If you make bigger lots and charge more per lot, you'll end up the same. The trail system hasn't really been talked about and he hasn't seen it on the plat.
- Leigh Turner, 6260 Autumn Oaks Drive, Olive Branch, MS. 262 lots is about 655 residents, with about 92-150 school aged children. Pleasant Hill Elementary and Desoto Central are already overcrowded. 1200 additional cars onto Goodman is a lot. Most people will cut across and go through Timber Oaks to get out of the neighborhood. Why not use Hughey as an access point? Why aren't the 2 roads on the west side not addressed? Price points are a concern, there is an environmental concern and worried these won't be high quality.
- Pam Korte, 6035 Autumn Point Cv. Olive Branch, MS - they moved here from Wisconsin and they looked at Adams houses. They were too cramped. She said Ivy Trails is not comparable to Autumn Oaks and Autumn Oaks is adjacent to the proposed development.
- Bernice Morgan, 6328 Timber Oaks, Olive Branch, MS –the street in this new development will butt up into their street. They get a lot of traffic in their neighborhood already from people that don't live there. Captain D's car wash area doesn't come into Timber Oaks. All school bus traffic will be worse. Schools are already overtaxed. We get enough new development in this area. What keeps them from developing 500 lots instead.

- **REBUTTAL**

Mr. Gambone said he's lived here for 9 ½ years in a less than 2000 sq foot house and has never been the victim of a crime and the property value has increased by at least 50% in that time. The idea of an increase in crime is inaccurate. He said that most traffic will go to the north and the traffic study supports that. He said that people can't afford \$600k-\$700k houses right now. He said Wedgewood is not even going to connect to this one because of an Army Corps of Engineer waterway that separates the areas. Hughey Rd doesn't connect and the church wasn't interested in selling to make a connection. The roads to the west are stubbed out for the City to develop for future plans, according to the Comp Plan and the future land use plan. These houses are intended for young families starting out and older residents looking to downsize. He said if the builder could build larger homes on larger lots, they would, but the market research doesn't support that.

- **PLANNING COMMISSION DISCUSSION**

Mr. Jones asked if they would consider rezoning to PUD, rather than R2. He said the PUD would give the Planning Commission more control over the approval. Mr. Gambone advised the plat that has been presented is what they are asking for and have been happy to include any additional improvements. We've presented everything that would be included in a Planned

Development. Mr. Jones asked regarding the accessibility of houses; we've seen in the past different levels of housing, and that brings different demographics which sustain a development long-term. If you have 0.25+/-ac lots, what sets this apart from a 0.25+/-acre lot in Magnolia subdivision. Mr. Gambone said the majority of houses will be a minimum of 2000 sq ft. 50 lots will be 1800 sq ft minimum. The larger homes will be on the larger lots, so there will be a mix of houses with all brick construction. Prices will range from low \$300,000 to around \$400,000 for the 2800 sq ft houses. Mr. Jones said that residents want to know that the new houses will increase their property values. Mr. Asongayi offered clarification after the rebuttal; staff did not say this was proposing 522 lots but was a reference to the calculation based on the zoning district (R2) and the minimum lot size (9000sq ft). He said the traffic study was presented 1 ½ weeks ago and is normally presented with the application. Street improvements are not just based on a traffic study, but also to align with the Comp Plan. He stated the connections on the west side are there if that property is developed in the future. Mr. Singh asked staff, since there is no PUD, how do we enforce lot sizes and house square foot sizes. Mr. Asongayi said it's possible Chance would have a table with house sizes and lot sizes. The future land use for this is suburban neighborhood. It doesn't look feasible for 1 acre lots. The applicant's letter of intent said 2000-3000 sq feet house sizes with 50 lots being 1800 feet. If there is a PUD, it's binding in the plan. Otherwise, in the final plat, it could be listed. Mr. Singh said if there is a PUD, there is more accountability for fences, etc. Otherwise, R2 zoning is just subject to existing zoning regulations. Mr. Asongayi said some of that could be controlled with the preliminary plat. Mr. Jones said if the developer changes, the PUD would still be binding. Mr. Singh said to change lot sizes, they would have to come back to the Planning Commission and Board of Aldermen. Mr. Asongayi said when the final plat is recorded, if the owner wants to make smaller lots, as long as the lots stay above 9000 sq ft, the Planning Commission must approve them. Mr. Jones asked if there was any possibility at all to consider a PUD. Mr. Gambone said that nothing changes in the procedure when rezoning to PUD or to R2. If the Board of Aldermen approves the Preliminary Plat, that is binding. Mr. Jones asked if there is a timeline of study to review if lots could be bigger. Mr. Gambone said that the MDEQ review and permit could take 60-90 days. He said that per environmental consultants, some of the streams will be protected and some won't be. That can reduce some of those blocked off areas and increase the adjacent lot sizes. He said that they are trying to work with the city if the city will work with us. There are 56 square miles in the city and spending tens of millions to extend water and sewer into these areas. Not enough people can afford \$800k-\$900k homes. Mr. Singh asked if he would be okay with providing CCR's before moving to the Board of Aldermen. Mr. Gambone said they have a standard set that will need to be tailored to this development. They have no problem listing architectural requirements and minimum square footage requirements. Mrs. Lewis said the city has a diverse population and there are different types of houses next to each other. We don't want apartments, but this is a nice section of land. She said she lives in Maywood and is across the street from a log cabin, then there are some that aren't as nice in the proximity. It hasn't really affected existed homes. \$250k-\$400k is the median of home prices, depending on location. We can't just say no more people can come to Olive Branch. If complete build out is not until 2029, it won't be as bad as we think. She agree with construction traffic concern. She said a real estate agent spoke to the Board of Aldermen last week about the need for additional housing.

- **MOTION**

**Mrs. Lewis made a motion, based upon a finding that:**

- **The land use character of the broader area of the property has changed from agricultural/rural to suburban residential over the years, and**
- **There is a public need for the rezoning reflected in the Suburban Neighborhood designation of the property on the Future Land Use Map of the Comprehensive Plan 2040.**

To approve, and recommend that the Board of Aldermen approve the rezoning of the subject property from A-R to R-2.

Mr. Jones made the second and the motion was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

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2. Application for a Preliminary Plat for Fox Paw Creek Subdivision, submitted by Chance Walker, Smith-Walker LLC, on behalf of property owner Cynthia Fox, Trustee. The request is to subdivide 108.0+/-acres into 262 lots and 6 Common Open Spaces. The subject property has an accompanying application request to rezone from A-R, Agricultural-Residential District, to R-2, Single-Family Residential District and is located on the west side of Davidson Rd, approximately 0.25 mile south of Goodman Rd. (File # SD25-0034).

• **APPLICATION SUMMARY**

Chance Walker P.E., Smith-Walker Engineering, on behalf of the property owner, Cynthia Fox, Trustee, requests approval of a preliminary plat for Fox Paw Creek Subdivision. The subdivision is proposed to be developed in two phases. An associated re-zoning application has also been submitted. The complete subdivision is proposed to consist of a total of 262 residential lots with 22 ac of common open space. Phase 1 is proposed to consist of 121 single-family lots. Phase 2 is suggested to consist of 141 single-family lots. At this time, the City Engineer has not yet reviewed the traffic study and made other necessary considerations to determine the scope of improvements necessary on Davidson Rd to service the proposed development. The Traffic Impact Study was submitted late, and there has not been sufficient time for review to provide appropriate assessment for an informed Planning Commission recommendation. The applicant’s representative has also stated the delineation of the stream buffers is pending by the US Corp of Engineers.

• **STAFF PRESENTATION**

Kevin Norman, Senior Planner, presented the staff report, which is included herein by reference (File # SD25-0034).

• **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

Mr. Stratton asked if they could approve with conditions before Board of Aldermen submittal or do we just table today? Mr. Asongayi said if you table now, you’ll still be able to add conditions on December 9, before it moves to Board of Aldermen. Mr. Stratton said if the only hindrance is the traffic study, can we hear the plat presentation, subject to traffic study being reviewed before it moves to Board of Aldermen? Mr. Jones asked if they can add conditions to be met before final plat application? Mr. Asongayi said the preliminary plat approval allows infrastructure to be approved by the City Engineer and construction complete before Final Plat submittal. The traffic study review will include a recommendation to the Planning Commission for approval. Mr. Dorr asked if the Preliminary Plat can be approved subject to traffic study being done. Mr. Asongayi stated that if you table now, this will still be heard before the Board of Aldermen’s hearing on December 16th. The next planning commission meeting is December 9. There can still be a recommendation made on December 9 and move to the Board of Aldermen on December 16. The traffic study delay is not because the city sat on it, but because it was submitted late.

- **PUBLIC MEETING**

Mr. Dorr asked if anyone was present to speak about the application.

- **Proponents:**

- Jason Gambone, Garden Street Communities, 4749 W Petite Loop, Olive Branch, MS – he is confident that they can meet the recommendation by the City Engineer. That will be part of the preliminary plat approval.

- **Opponents:**

- None

- **PLANNING COMMISISON DISCUSSION**

None

- **MOTION**

Mr. Stratton made a motion to table give Staff adequate time to review all information pertaining to this application.

Mr. Singh made the second and the motion to table was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

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Mr. Dorr announced New Business Item # 3 and noted there was a motion to table the item until December 9, 2025.

3. Application for a Zoning Map Amendment, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to rezone 2.06+/- acres from M-2, Heavy Industrial District, to C-2, Highway Commercial District. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd. (File# ZP25-0012). (Applicant requests table to December 9, 2025).

- **MOTION**

Mr. Jones made a motion to table the item until December 9, 2025. Mrs. Lewis made the second and the motion to table the item was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

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Mr. Dorr announced New Business Item # 4 and noted there was a motion to table the item until December 9, 2025.

4. Application for a Final Plat for Prasad Rheumatology Subdivision, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to subdivide 2.06+/- acres into a single lot. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd. (File# SD25-0031). (Applicant requests table to December 9, 2025).

- **MOTION**

Mr. Jones made a motion to table the item until December 9, 2025. Mr. Singh made the second and the motion to table the item was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Yes	Diane Senger	Yes		

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5. Application for a Final Plat for Lot 2 Fox Creek Commercial Subdivision, submitted by Ben Smith, Smith-Walker LLC, on behalf of property owner Fox Creek Investment LLC. The request is to create a single lot of 1.36+/-acres. The subject property is zoned PUD, Planned Unit Development, and is located just west of the northwest corner of Hwy 302 and Fox Creek Dr. (File # SD25-0033).

- **APPLICATION SUMMARY**

Ben Smith, Smith-Walker, LLC, on behalf of the property owner, Fox Creek Investment, LLC, requests approval of the Final Plat for Lot 2 Fox Creek Commercial Subdivision. The final plat creating Lot 1 was recorded on June 30, 2023. The proposed lot 2 would be 1.36ac. Public utilities such as water, sewer and gas lines are available in the vicinity of the property to service the commercial lot. Access to the lot from Goodman Rd (Hwy 302) would be through an existing 35ft shared access easement on Lot 1. The suggested plat meets all requirements of the Fox Creek Planned Unit Development as applicable to the proposed lot area (Neighborhood Commercial Sub-District) and the Subdivision Regulations of the City of Olive Branch. Staff recommends approval subject to various conditions.

- **STAFF PRESENTATION**

Venard Asongayi, CFP, AICP, DPA, Director, presented the staff report, which is included herein by reference (File # SD25-0033).

- **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

None

- **PUBLIC MEETING**

Mr. Dorr asked if anyone was present to speak about the application.

- **Proponents:**

- Chance Walker, Smith-Walker Engineering, 8180 Airways Blvd, Southaven, MS- he had nothing to add to the report.

- **Opponents:**

- None

- **PLANNING COMMISSION DISCUSSION**

None

- **MOTION**

Mr. Singh made a motion to approve the “Final Plat Lot 2 Fox Creek Commercial Subdivision” subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the City of Olive Branch.
2. Future development on the lot shall comply with all requirements of the City’s various land development regulations.
3. Unless otherwise specified, all utilities and services (electric, telephone, cable, etc.) shall be installed underground. The water service lines should be installed with tracing wire at the top.
4. Before recording this plat, the draft Declaration of Covenants, Conditions & Restrictions for the Property Owners Association, which shall include provisions for the management and/or maintenance of all Common Open Space areas, shall be submitted to Planning staff for review to ensure consistency with the applicable project text and these approval conditions.
5. Minor edits are applicable to the final plat as may be required by City regulations and deemed necessary by City staff.

Mr. Stratton made the second and the motion was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

6. Application for the Replat of Lots 29 and 30 of Pleasant Hill Estates East, Section A Subdivision, submitted by Latonya Reed, property owner. The subject property is zoned A-R, Agricultural-Residential District and is located on the south side of Spring Creek Dr, between Homestead Lane and Redwood Lane, known as 6167 & 6161 Spring Creek Dr. (File # SD25-0035).

- **APPLICATION SUMMARY**

Latonya Reed, the owner of existing Lots 29 and 30 of the Pleasant Hill Estates – East, Section A Subdivision, seeks to replat these lots by moving the lot line between them. The current interior lot line bifurcates the existing house at 6167 Spring Creek Dr. The replat, which would formally redraw the lot line and create new, legally recorded parcels within the existing subdivision would cure this problem. Gas and water lines are available in the vicinity of the lots – along Spring Creek Dr. The parcels are in the 2021 Annexation Area for which the City has a plan for the extension of public sewer lines in the area. Access to the lots would be through Spring Creek Dr., which is a public street. Both lots are zoned A-R, Agricultural Residential, which requires that lots be at least 1ac large. The plat meets requirements of the Zoning Ordinance and Subdivision Regulations of the City of Olive Branch. Staff recommends approval subject to various conditions.

- **STAFF PRESENTATION**

Venard Asongayi, CFP, AICP, DPA, Director, presented the staff report, which is included herein by reference (File # SD25-0035).

- **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

None

- **PUBLIC MEETING**

Mr. Dorr asked if anyone was present to speak about the application.

- **Proponents:**

- Latonya Reed, 6167 Spring Creek Dr, Olive Branch, MS – she had nothing to add

- **Opponents:**

- None

- **PLANNING COMMISISON DISCUSSION**

None

- **MOTION**

Mr. Jones made a motion to approve the “Replat of Lots 29 and 30, Pleasant Hill Estates – East, Section A” Subdivision, subject to the following conditions:

1. Change the name of the plat to “Replat of Lots 29 and 30, Pleasant Hill Estates – East, Section A.”
2. Lot improvements shall be the responsibility of the developer and not the City of Olive Branch.
3. Future development on the lot shall comply with all requirements of the City’s various land development regulations. The building setbacks, however, shall be as shown on the subdivision plat.
4. Unless otherwise specified, all utilities and services (electric, telephone, cable, etc.) shall be installed underground. The water service lines shall be installed with tracing wire at the top.
5. Any new driveway on any of the lots shall be paved in its entirety.
6. Minor edits are applicable to the final plat as may be required by City regulations and deemed necessary by City staff.

Mr. Singh made the second and the motion was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

**OTHER BUSINESS**

**ADJOURNMENT**

Mr. Jones made a motion to adjourn the meeting at 8:11 pm. Mrs. Lewis made the second and the motion was approved as follows:

Pat Dorr	Yes	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Mark Long	Absent	Diane Senger	Absent		

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Preliminary Plat for Fox Paw Creek Subdivision, submitted by Chance Walker, Smith-Walker LLC, on behalf of property owner Cynthia Fox, Trustee. The request is to subdivide 108.0+/-acres into 262 lots and 6 Common Open Spaces. The subject property has an accompanying application request to rezone from A-R, Agricultural-Residential District, to R-2, Single-Family Residential District and is located on the west side of Davidson Rd, approximately 0.25 mile south of Goodman Rd. (File # SD25-0034).

- EXHIBIT:
1) Preliminary Plat
2) Landscape and Site Furnishing Plan
3) Trail and Fence Plan
4) Engineering Dept. memo
5) Utility Map
6) Proposed Davidson Rd improvements
7) House Models

EXECUTIVE SUMMARY

Chance Walker P.E., Smith-Walker Engineering, on behalf of the property owner, Cynthia Fox, Trustee, requests approval of a preliminary plat for Fox Paw Creek Subdivision. The subdivision is proposed to be developed in two phases. An associated re-zoning application has also been submitted (File # ZP25-0013).

The complete subdivision is proposed to consist of a total of 262 detached single-family residential lots with 22 ac of common open space. Phase 1 is proposed to consist of 121 lots. Phase 2 is proposed to consist of 141 lots. The City of Olive Branch Department of Engineering has reviewed the preliminary plat and the submitted traffic impact study in conjunction with the Comprehensive Plan 2040, and made recommendations regarding the scope of necessary improvements on Davidson Rd. The delineation of stream buffers is pending by the US Corp of Engineers. If the property were re-zoned to R-2, the plat would meet zoning and subdivision regulation requirements; thus, may be approvable subject to various conditions.

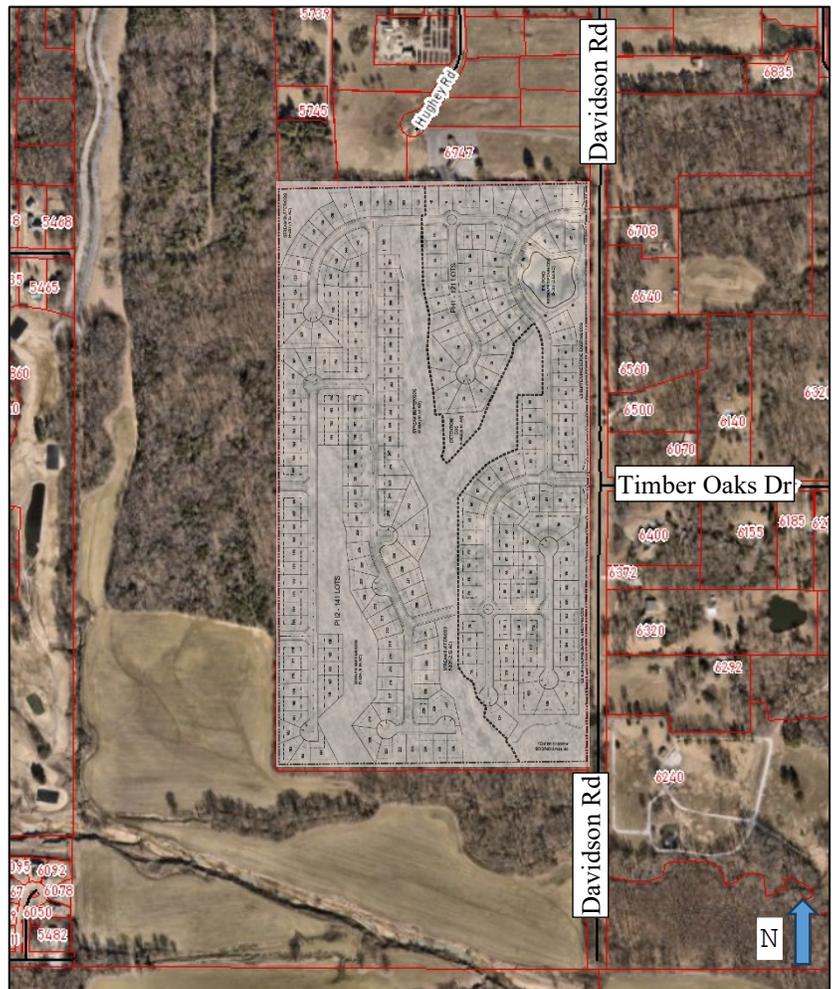
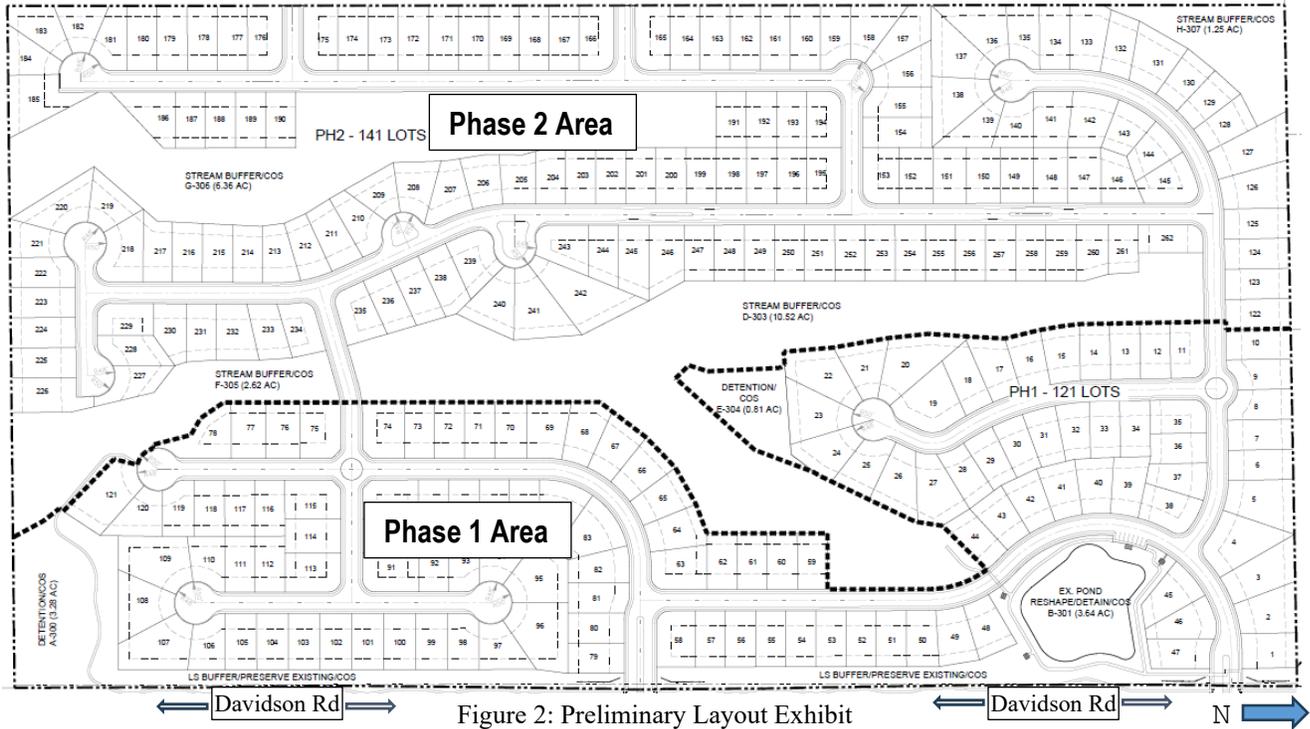


Figure 1: Site Location and Preliminary Layout Exhibit

## 1. BACKGROUND:

The current Fox Paw Creek Subdivision preliminary plat application proposes to subdivide the ±108 ac tract into 262 lots to be developed in two phases. Phase 1 is proposed to consist of 121 residential lots with open space and a buffer along Davidson Rd. Phase 2 is proposed to consist of 141 residential lots with stream buffer/common open space areas.



Off-site improvements will include improvements to Davidson Rd north of the site. Main features of the development will be a walking trail with a landscape buffer alongside Davidson Rd. The trail will also meander around a reshaped pond with a pavilion. Traffic calming devices are proposed in Phase 2.

The applicant has submitted several floor plans of homes with different square footages.

### The homes that are proposed on the 262 total lots:

- 1800 – 1999 heated sq. ft.: 19% of lots (50 lot cap) → 50 lots
- 2000 – 2299 heated sq. ft.: 35% of lots → ±92 lots
- 2300 – 2599 heated sq. ft.: 35% of lots → ±92 lots
- 2600+ heated sq. ft.: 10% of lots → ±26 lots

## 2. ANALYSIS:

### 2.1. Zoning

The subject property is a ±108 ac tract that is presently zoned AR, Agricultural Residential. An application for rezoning to R-2, Single-Family Residential was also submitted and recommended for approval by the Planning Commission on November 12, 2025 and will be considered for approval by the Board of Aldermen on December 16, 2025. Permitted uses in the R-2, Single-Family Residential District are primarily single-family residential houses, churches, schools, parks, and public facilities.

If rezoned to R-2, bulk requirements shall be as stipulated for the R-2, Single-Family Residential zoning district. As submitted, the plat meets the minimum 9,000 sf lot area and minimum 70 ft lot width at the building setback line for the R-2 District.

### 2.2. Lots

The applicant has proposed two phases of development:

#### Phase 1

- Phase 1 is proposed to consist of 121 residential lots, which would be greater than or equal to 9,000 sf in size.
- Four open spaces totaling 7.83 ac are proposed:
  - A ±2.55 ac portion of landscape buffer/common open space is proposed along Davidson Rd. with a walking trail,
  - A ±2 ac detention/open space would be located in the southeast corner of the tract, and
  - Two ±3.28 ac detention/common open spaces. One space contains an existing pond that is proposed to be re-shaped for detention. This space is proposed to have a walking trail, pavilion, and mailbox parking for residents' use.

#### Phase 2

- Phase 2 is proposed to consist of 141 residential lots, which would be greater than or equal to 9,000 sf in size.
- Common Open Spaces in Phase 2 are proposed from existing stream buffers. The applicant has stated that 20.78 ac will comprise the open spaces in Phase 2. The applicant is awaiting final approval of USACE delineation of the stream buffer areas to determine these areas final acreage, which will affect lot sizes.

### 2.4. Subdivision Infrastructure

#### *2.4.1. Utilities*

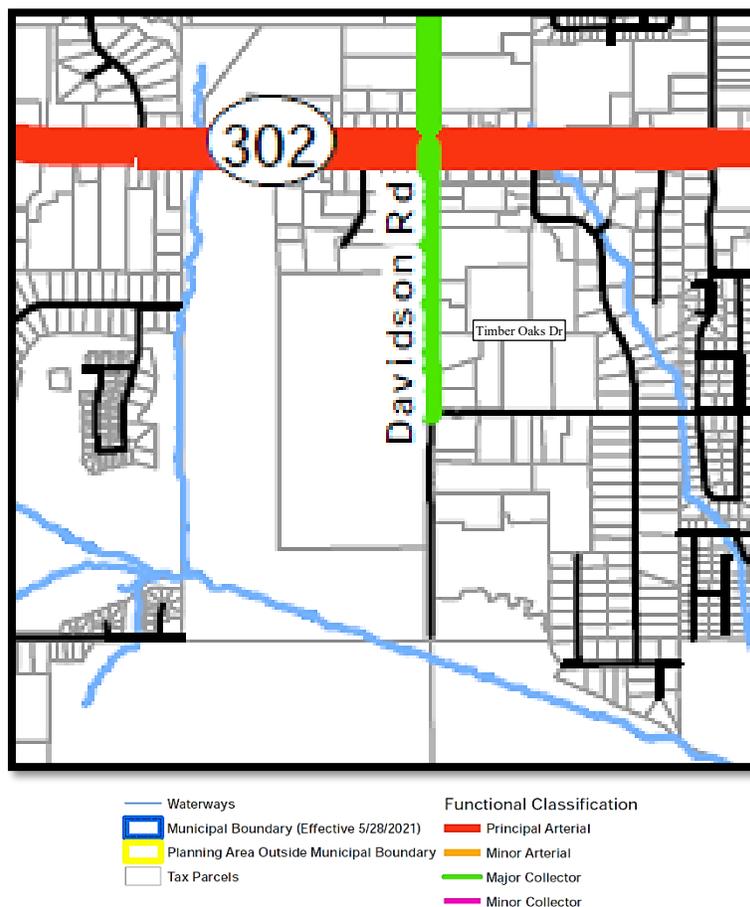
The developer shall construct new public water and sewer lines and extend all other utilities as necessary to service proposed lots. Full sets of construction plans shall be submitted to the City Engineer for review and approval.

Existing utilities in the vicinity of the proposed subdivision include an 8-inch gravity sewer line within the Davidson Rd right-of-way and a 6-inch water main on the east side of the Davidson Rd right-of-way.

There are no gas utility lines in the vicinity of the proposed subdivision.

### 2.4.2. Transportation

According to the Comprehensive Plan 2040, the portion of Davidson Rd between Goodman Rd and Timber Oaks Dr is classified as a Major Collector. It currently has a right-of-way of 90 ft. The existing pavement width, however, is approximately  $\pm 20$  ft. The “Long Range Vision Plan” for the Davidson Rd segment from Timber Oaks Dr to Goodman Rd is for it to be a 2-lane road, potential for developable parcels to the south of the subject property notwithstanding.

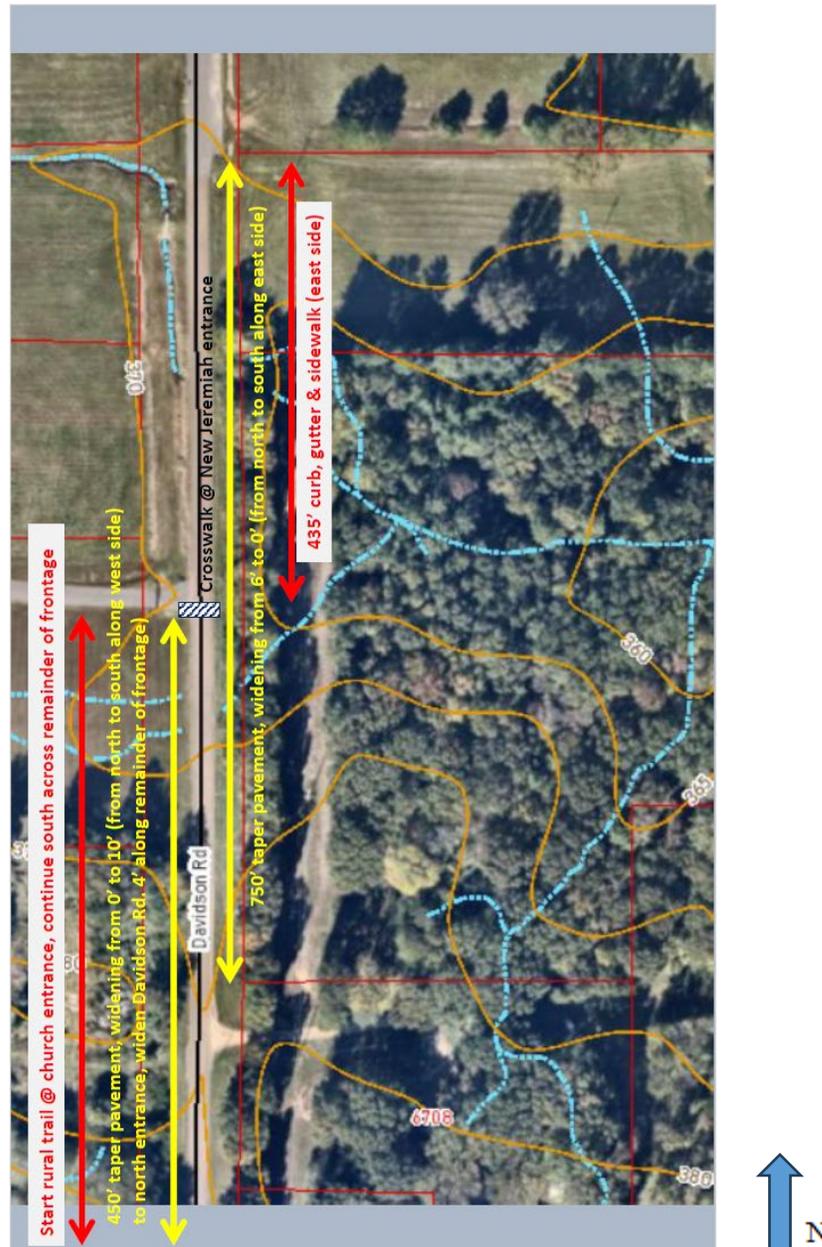


The City of Olive Branch Department of Engineering has reviewed the preliminary plat and the submitted traffic impact study in conjunction with the Comprehensive Plan 2040, and makes the following recommendations regarding Davidson Rd:

1. The developer should widen the west side of Davidson Road along the entire eastern street frontage of the parcel to be developed to accommodate a road width of 24-30 feet. In this regard, the road should be widened such that each lane from centerline to edge of pavement is at least 12 feet wide.

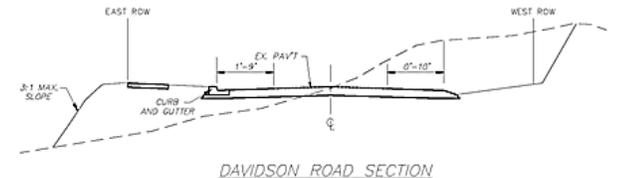
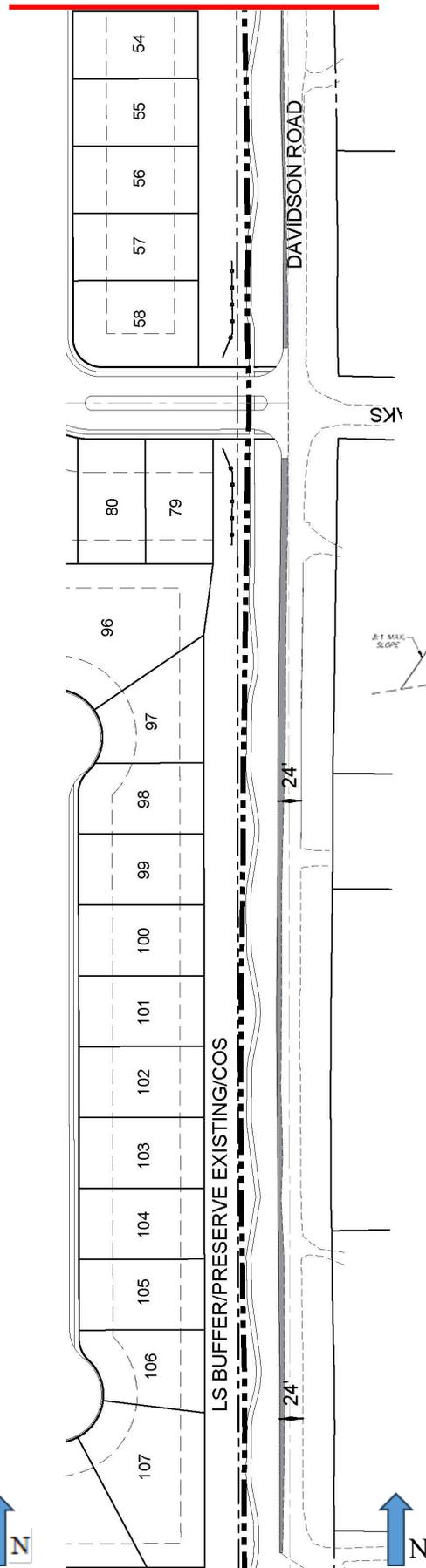
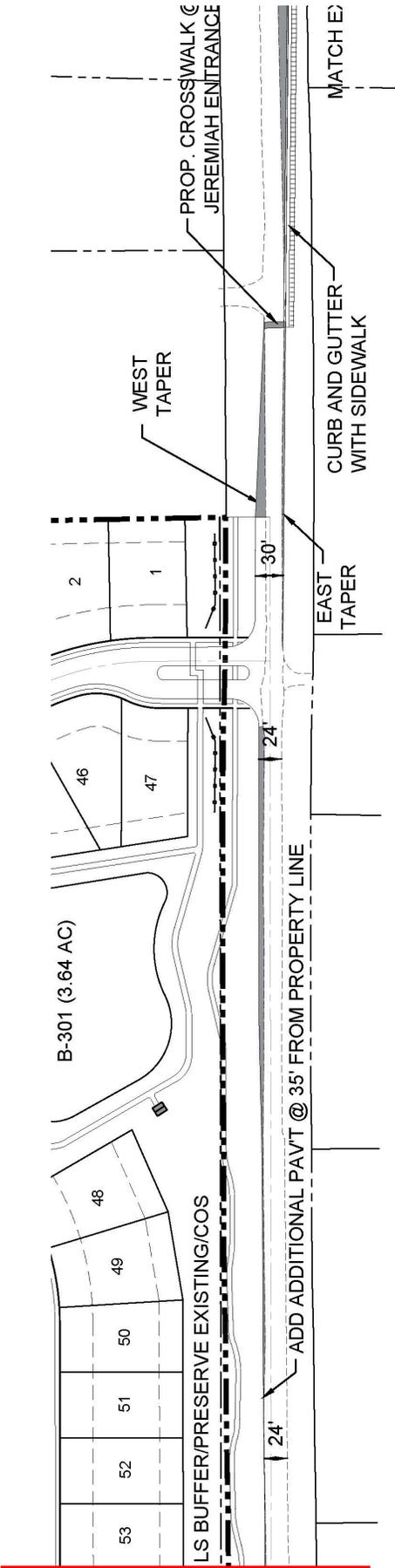
2. The developer should construct curbs, gutters, and sidewalks (minimum 5 feet wide) along the entire western side of the Davidson Rd street frontage of the property. Alternatively, a rural open swale section is allowed with a trail segment along it. At final plat, this trail segment along Davidson Rd should be made available for general public use as a sidewalk would have been.
3. To effectively handle the daily traffic increase impact that the development would generate or cause from Timber Oak Dr to Goodman Rd; the Planning Commission could recommend, and the Board of Alderman could require that the 32-foot-wide urban section of Davidson Road (with sidewalks) south of Hwy 302 be extended south within the existing right-of-way. This will also allow for pedestrian access to the commercial areas along Hwy 302.

The applicant proposes various improvements to Davidson Rd as shown below:



Goodman Rd ↑

MATCH LINE



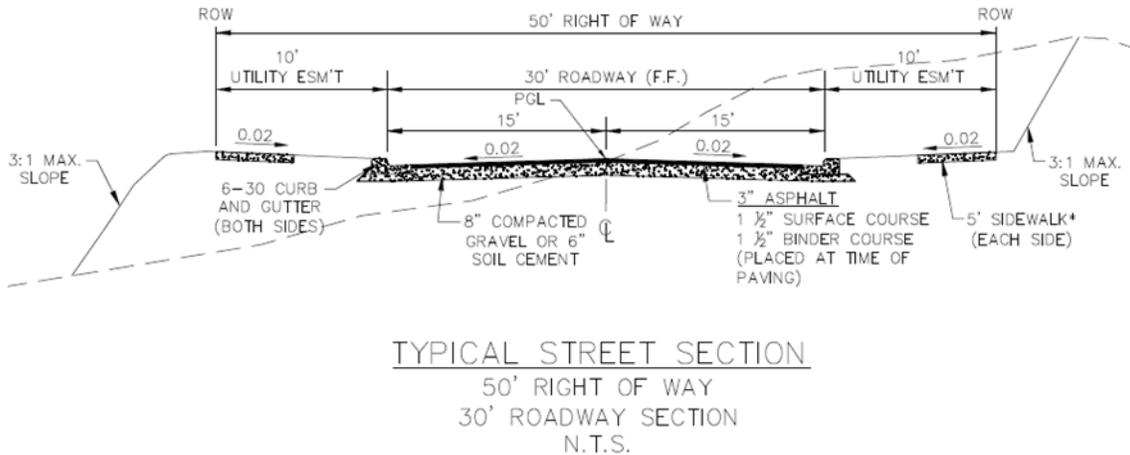
DAVIDSON ROAD SECTION

### DAVIDSON ROAD IMPROVEMENTS

- PAVMENT: 13,388S.F.
- CURB & GUTTER: 442 L.F.
- SIDEWALK: 2,213S.F.

MATCH LINE

The interior streets within the subdivision are proposed to have a pavement width of 30 ft, and have 3-inch thick asphaltic surface within a 50 ft right-of-way. These proposed streets will have curb, gutter, and 5 ft pedestrian sidewalks within 10 ft utility easements.



**2.4.3. Amenities**

A gazebo and walking trail with a lit fountain in the reshaped pond will be constructed in Phase 1 of the subdivision. The applicant states that “since the yards will be big enough for residents to add pools, we will not have a pool & clubhouse as an amenity”.

**3. NEXT STEPS:**

Upon recommendation by the Planning Commission, this application would move forward to the Board of Aldermen for a final decision. If the rezoning application (*File #ZP25-0013*) and the preliminary plat application are approved by the Board of Aldermen, the next step in the development process would be for the applicant to file for construction plan approval.

**4. RECOMMENDED MOTION:**

Staff recommends approval of the preliminary plat for Fox Paw Creek Subdivision, Phases 1 and 2 subject to the following conditions:

1. Improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. The developer shall submit construction plans to the City Engineer for approval widening the west side of Davidson Road along the entire eastern street frontage of the parcel to be developed to accommodate a road width of 24-30 feet. The Davidson Rd improvements must be constructed before recordation of the final plat of Phase 1, unless a letter of credit of sufficient amount, plus 25% contingency, is provided to the City to cover any uncompleted public improvements.
3. The heated square footages of proposed homes and the overall ratio (percentagewise) of lots shall be placed upon the preliminary plat.

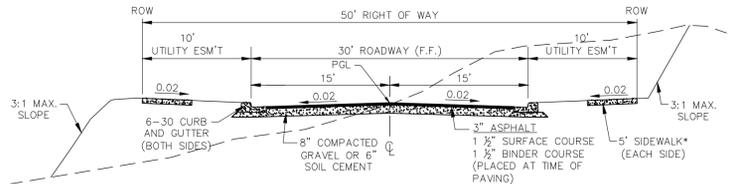
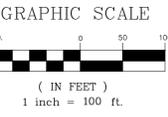
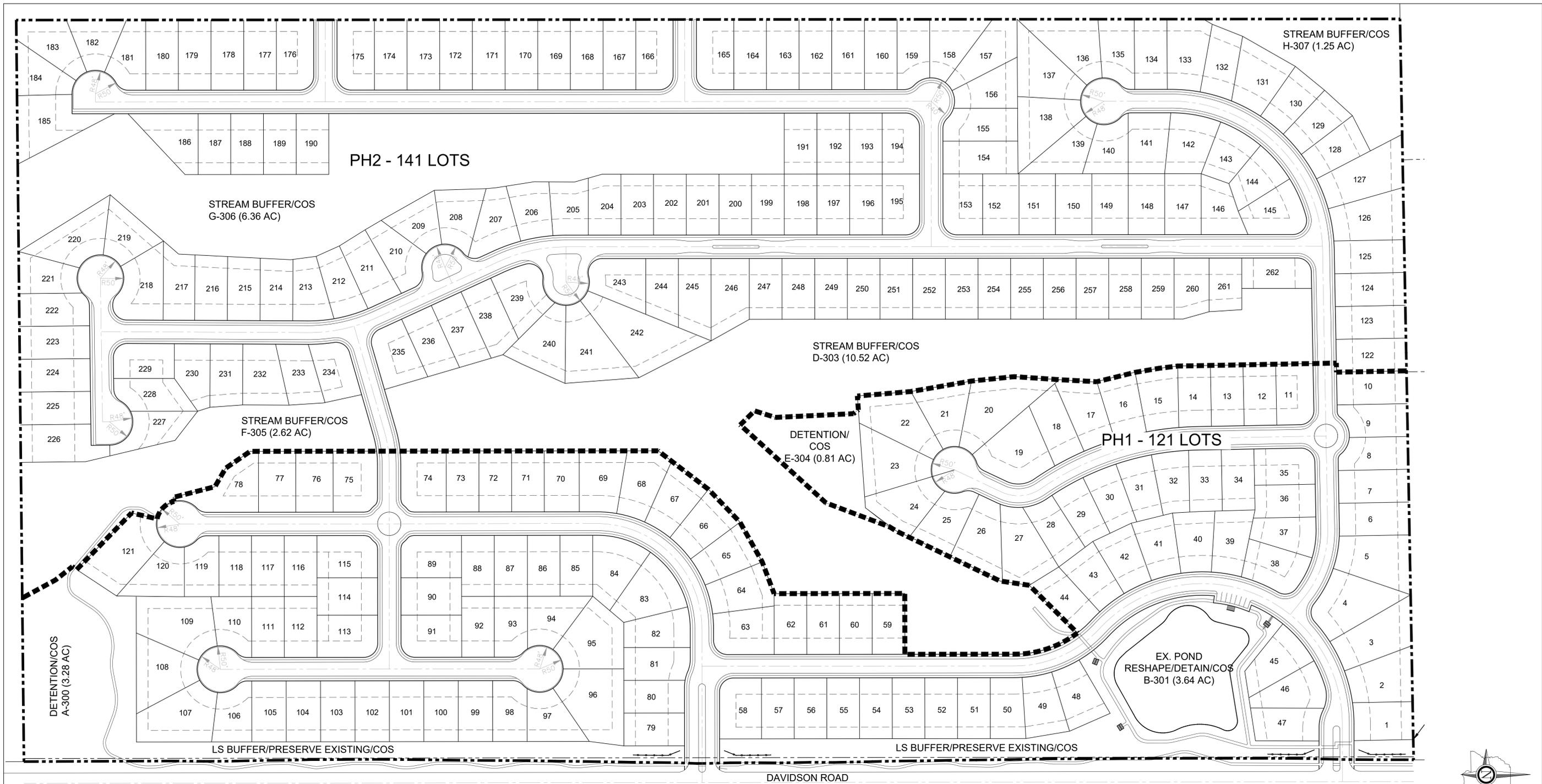
4. The portion of the walking trail lying along the Davidson Rd right-of-way and within the area of Phase 1 of this subdivision must be constructed before recordation of the final plat of Phase 1. The final plat should provide for this trail segment to be used by the public, though maintained by the Fox Paw Creek Homeowners Association until such time that the City may assume at its discretion, ownership and responsibility for its maintenance.
5. The developer shall submit civil construction plans for grading, stormwater management, utilities, streetlights, road(s) construction, trail and pavilion(s), landscaping, fencing and other applicable recreational measures, and all other subdivision infrastructure to the City Engineer and the Director of Planning and Development or designee for approval.
6. Upon construction plan approval, the developer shall install any and all applicable drainage pipe, erosion control material, water mains, sewer, fire hydrants and service, streetlights, and gravel or soil cement base and asphalt for access roads, recreational facilities, and subdivision signs. If the developer wishes to record the final plat before completion of all required public and common infrastructure, the following minimum improvements must have been completed: all proposed roads must be graded, have the appropriate gravel or soil cement base and binder, and water, sewer, and drainage improvements must be in place. Upon the completion of these minimum improvements, the developer may provide a performance guarantee in an amount set by the City Engineer to the City for the completion of remaining required subdivision infrastructure prior to recording the plat to ensure the installation of all of the improvements.
7. At least 1 street tree 2½ - 3½ inch caliper at time of planting shall be planted in front of each lot before a house on the lot may pass final inspection. Two such trees shall be planted on corner lots, one on each street frontage.
8. All utilities and services (electric, telephone, cable, etc.) shall be installed underground. The water service lines shall be installed with tracing wire at the top.
9. All street medians and traffic circles (as applicable) shall be designed and constructed with appropriate street trees as shall be approved by the Director of Planning and Development or designee.
10. At final plat submittal, the developer shall submit the draft Declaration of Covenants, Conditions & Restrictions for the Homeowners Association. These shall include provisions for the management of all Common Open Space areas and the minimum heated area of houses.
11. The developer and/or property owner shall secure completed delineation of the stream buffers by the United States Army Corp of Engineers (USACE) before approval of the final plat of this Phase 1, and shall show the designated floodplain limits, floodway boundary, and Base Flood Elevation (BFE) of all lots on the final subdivision plat.
12. Should MDEQ determine that the western stream(s) will not require 60 ft. wide protection buffers, an additional 8 lots are authorized to be added to Phase 2, increasing the total lots from 262 to 270.

STAFF REPORT PREPARED BY:  DATE: 12/3/2025

STAFF REPORT APPROVED BY:  DATE: 12/3/2025

MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE							
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____



TYPICAL STREET SECTION  
50' RIGHT OF WAY  
30' ROADWAY SECTION  
N.T.S.

**SITE DEVELOPMENT DATA**

±108 Gross Acres  
262 Lots Illustrated @ 2.43 du/ac

262 Lots > = 9,000 S.F. LOTS  
Common Open Space/  
US Corp Stream Buffer (Pending  
Delineation)

±22 Acres Common Open Space (20%)  
50' Public Right-of-Way (12,446 LF Internal)

**LOT SIZE DATA**

TYPICAL LOT:  
MINIMUM 70' X 130'  
(55'W X 70'D BLDG AREA)

BUILDING SETBACKS:  
FRONT: 35'  
SIDE: 5' MIN SUM 15'  
REAR: 25'

FOX PAW CREEK SUBDIVISION  
WEST OF DAVIDSON ROAD  
DEVELOPER: Garden Street Communities Southeast, LLC  
ENGINEER: SMITH WALKER ENGINEERING AND SURVEYING, LLC

**SW SMITH WALKER**  
ENGINEERING & SURVEYING

8180 AIRWAYS BOULEVARD, SUITE B  
SOUTHAVEN, MISSISSIPPI 38671  
PH: (662) 535-3346 • FAX: (662) 536-6183

FOX PAW PAVILIONS



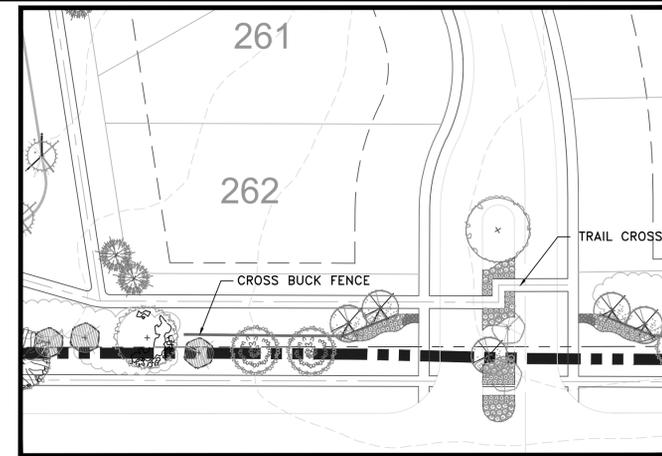
PAVILION "A"



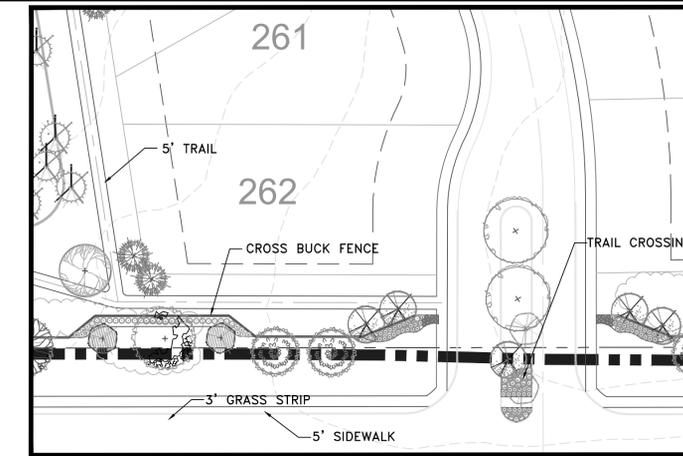
PAVILION "B"



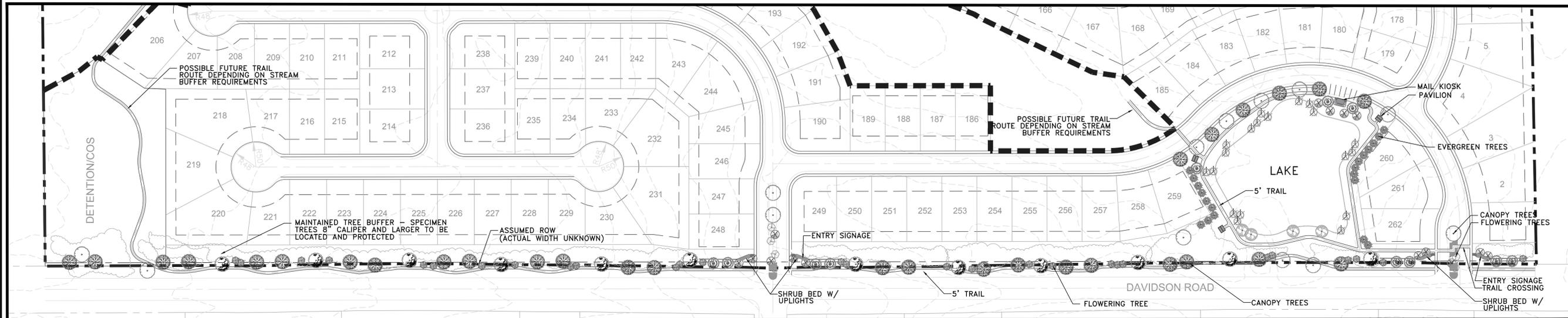
PAVILION "C"



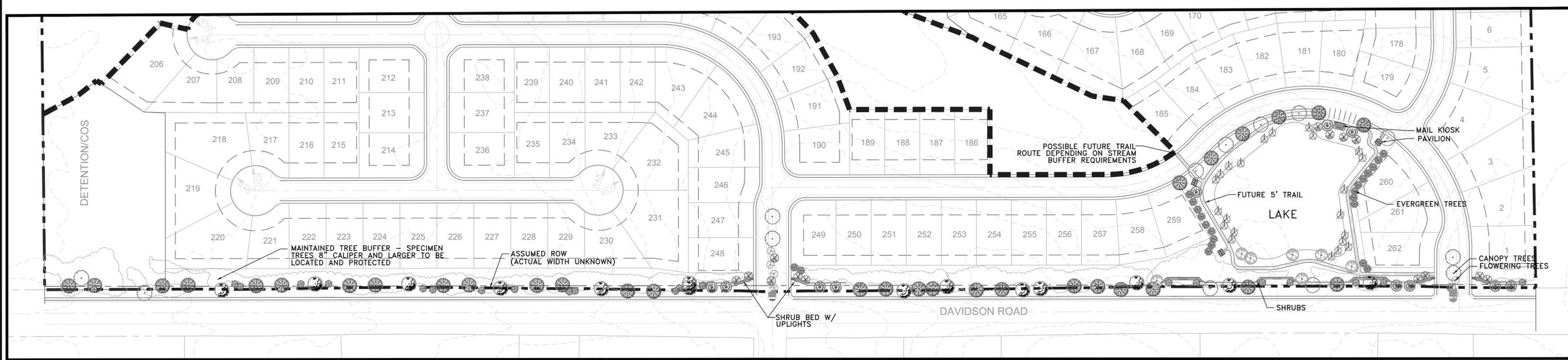
SCHEMATIC "A" ENLARGEMENT



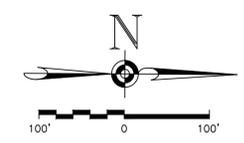
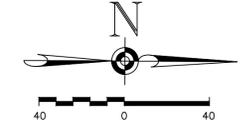
SCHEMATIC "B" ENLARGEMENT



FOX PAW SCHEMATIC "A"



FOX PAW SCHEMATIC "B"



NOTE: TREES AND TRAIL ARE SHOWN FOR GRAPHIC PURPOSES ONLY. WHEN TREE SURVEY HAS BEEN CREATED ACTUAL PROPOSED TREES AND TRAIL SHALL BE RELOCATED.





# MEMO



ENGINEERING DEPARTMENT

CITY OF OLIVE BRANCH, MS

DATE: November 20, 2025  
TO: Asongayi Venard  
FROM: Andy D. Swims, PE  
RE: Fox Paw Creek Proposed Subdivision

Fox Paw Creek proposed subdivision is currently showing connection to Davidson Road with two points of entry. Davidson Road is a half section road and classified as a major collector road. Roads right-of-way on half-section roads are generally acceptable at 80 feet. South of 302 where the subdivision is located, the right-of-way varies. Davidson Road street section is +/- feet wide asphalt with a curb and gutter for the first 600 feet. It then narrows down to 18-20 feet south of this point.

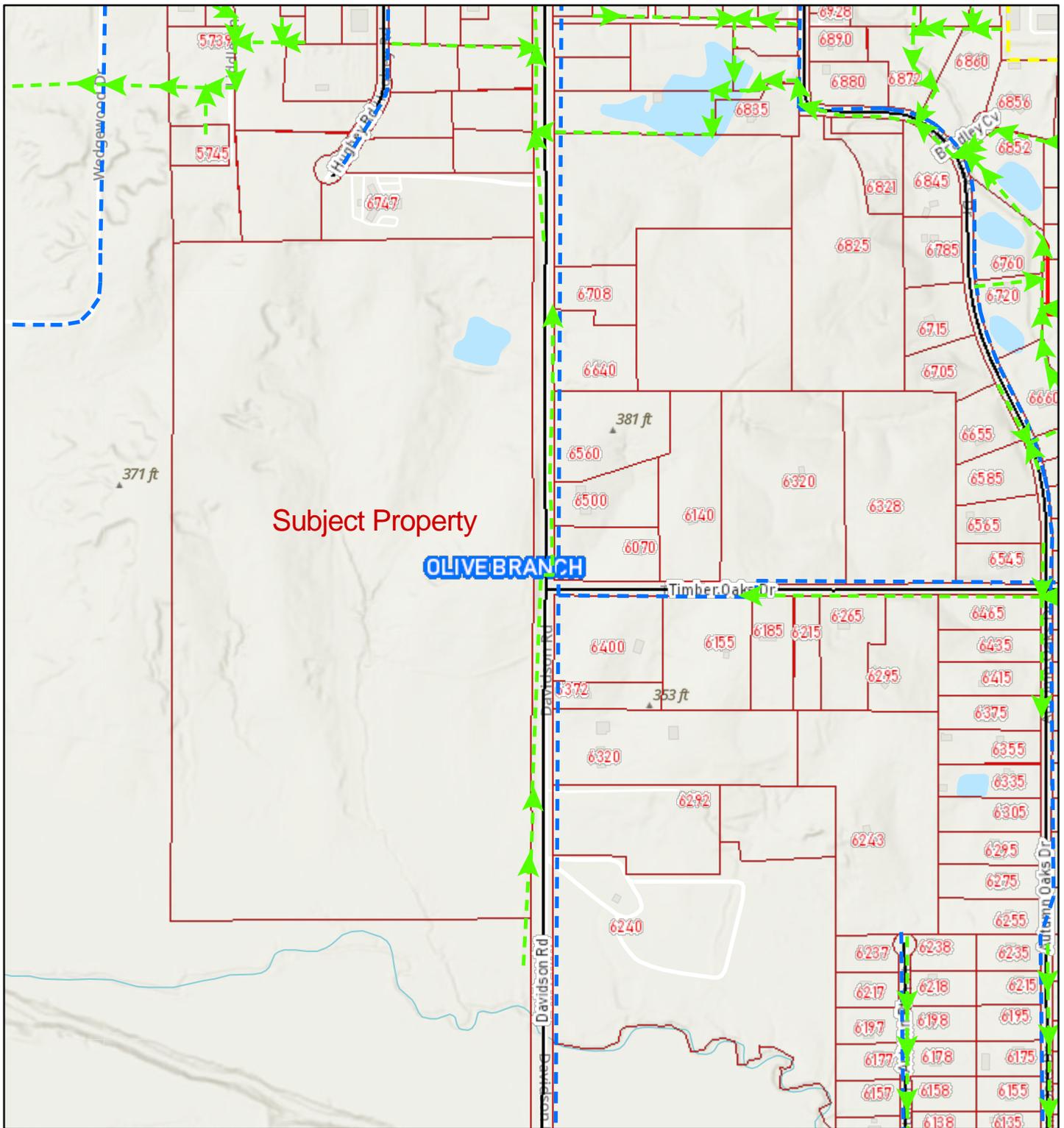
If Davidson Road were to be extended to the south from its current dead end, a substantially (and costly) box culvert or bridge would be necessary to cross Nolehoe Creek. While this has not in recent history been on any capital improvement plan for the City as an imminent project, the benefits could be substantial if Davidson connected to Nail Road, which in turn could connect pleasant Hill Road to Craft Road. A significant drop in traffic congestion on 302 would likely occur. The adjoining property to the south has developable area. Its development may include a road connection to Davidson Road. Such connections would include improvements to the Davidson Road Street frontage of the property. The traffic study shows Fox Paw Creek Subdivision will increase the average daily traffic on Davidson Road with an additional 2800 vehicles. The current traffic is fairly low. According to the study, the traffic will increase 4-5 times current conditions. The Level of Service is currently C, and 2029 projections are for the Level of Service to drop to a D. I concur with the study that this is acceptable for a two-lane major collector road in urban conditions.

The Study Recommendations simply state that the increased Level of Service is acceptable and appears to suggest the intent is to keep the existing land geometry (of lane widths). However, improvements to Davidson Road should meet minimum standards of lane widths the City has historically required for major collectors. Additionally, it should reflect impacts the development will have and future considerations of growth or road extensions. The existing road widths of 18-20 feet are substandard, and Curb & Gutter and Sidewalks are typically required. If no considerations were given to future extension of Davidson Road Southward, reductions in the required road widening could be considered but should be no less than 24 feet total pavement width.

With the above consideration, I make the following recommendations for the interest of the public:

1. The property owner should dedicate sufficient right-of-way (ROW) such that the ROW along the entire east line of the development would be a minimum 80 feet at the final plat recordation.
2. The developer should widen the west side of Davidson Road along the entire eastern street frontage of the parcel to be developed to accommodate a road width of 24-30 feet. In this regard, the road should be widened such that each lane for centerline to edge of pavement is at least 12 feet wide.
3. The developer should construct curbs, gutters, and sidewalks (minimum 5 feet wide) along the entire western side of Davidson Road Street frontage of the property.
4. To effectively handle the daily traffic increase impact that the development would generate or cause from Timber Oak Dr to Goodman Rd.: the planning Commission could recommend, and the Board of Alderman could require that the 32-foot-wide urban section of Davidson Road (with sidewalks) south of Hwy 302 be extended south within the existing right-of-way. This will also allow for pedestrian access to the commercial areas along HWY 302

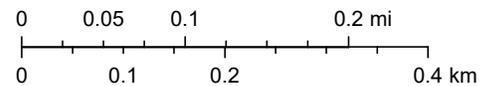
# Existing Utility Map



12/2/2025, 9:48:21 AM

1:9,028

- |                           |                           |               |
|---------------------------|---------------------------|---------------|
| <b>GAS MAIN LINES</b>     | County Outline            | US Highway    |
| Not Field Verified        | Municipalities            | State Highway |
| <b>SEWER GRAVITY MAIN</b> | Tax Parcels               | Local Road    |
| NOT FIELD VERIFIED        | <all other values>        | Private Road  |
| SEWER FORCE MAIN          | PRELIMINARY 2024 LANDROLL | Ramp          |
| <b>WATER MAINS</b>        | PRELIMINARY 2025 LANDROLL | IH            |
| NOT FIELD VERIFIED        | Roads                     |               |
| PointAddresses            | Interstate                |               |



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

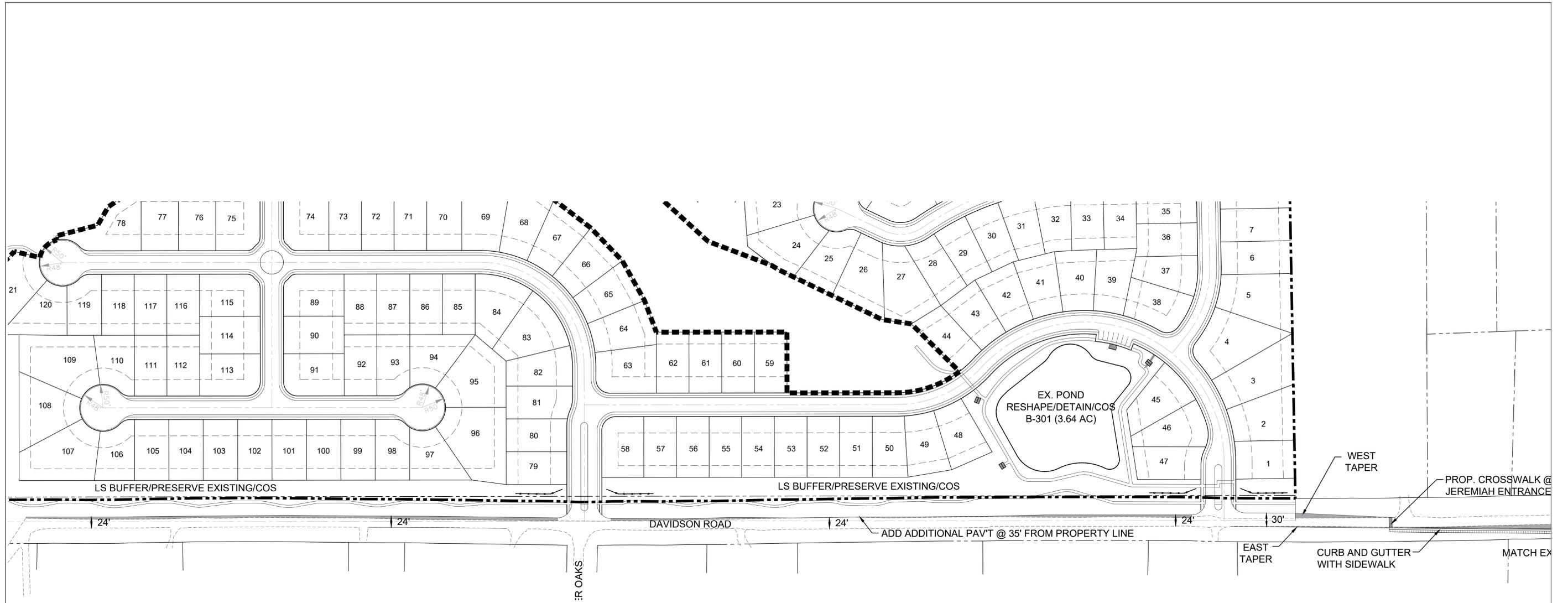
Start rural trail @ church entrance, continue south across remainder of frontage

450' taper pavement, widening from 0' to 10' (from north to south along west side) to north entrance, widen Davidson Rd. 4' along remainder of frontage)

Davidson Rd  
Crosswalk @ New Jeremiah entrance

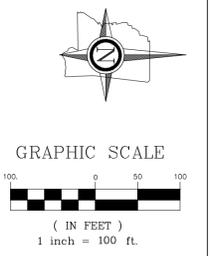
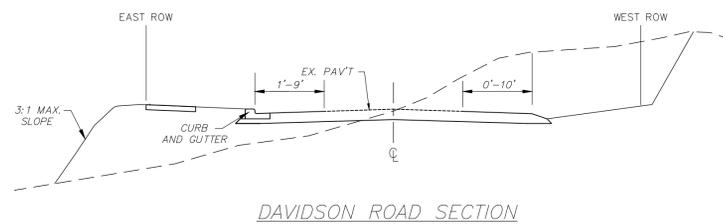
750' taper pavement, widening from 6' to 0' (from north to south along east side)

435' curb, gutter & sidewalk (east side)



**DAVIDSON ROAD IMPROVEMENTS**

PAVMENT: 13,388S.F.  
 CURB & GUTTER: 442 L.F.  
 SIDEWALK: 2,213S.F.



FOX PAW CREEK SUBDIVISION  
 WEST OF DAVIDSON ROAD  
 DEVELOPER: Garden Street Communities Southeast, LLC  
 ENGINEER: SMITH WALKER ENGINEERING AND SURVEYING, LLC

**SW SMITH WALKER**  
 ENGINEERING & SURVEYING

8180 AIRWAYS BOULEVARD, SUITE B  
 SOUTHAVEN, MISSISSIPPI 38671  
 PH# (662) 583-3346 • FAX (662) 536-6183

- Adams Homes is known for its one-story open floor plans & brick facades.
- “2265” expected to be popular plan in Fox Paw Creek.
- Multiple elevations with different treatments, including front porches.

**2265**  
 2265 s.f. (approx)  
 4 Bedroom / 3 Baths  
 2 Car Garage  
 Covered Porches

Elevation “A”



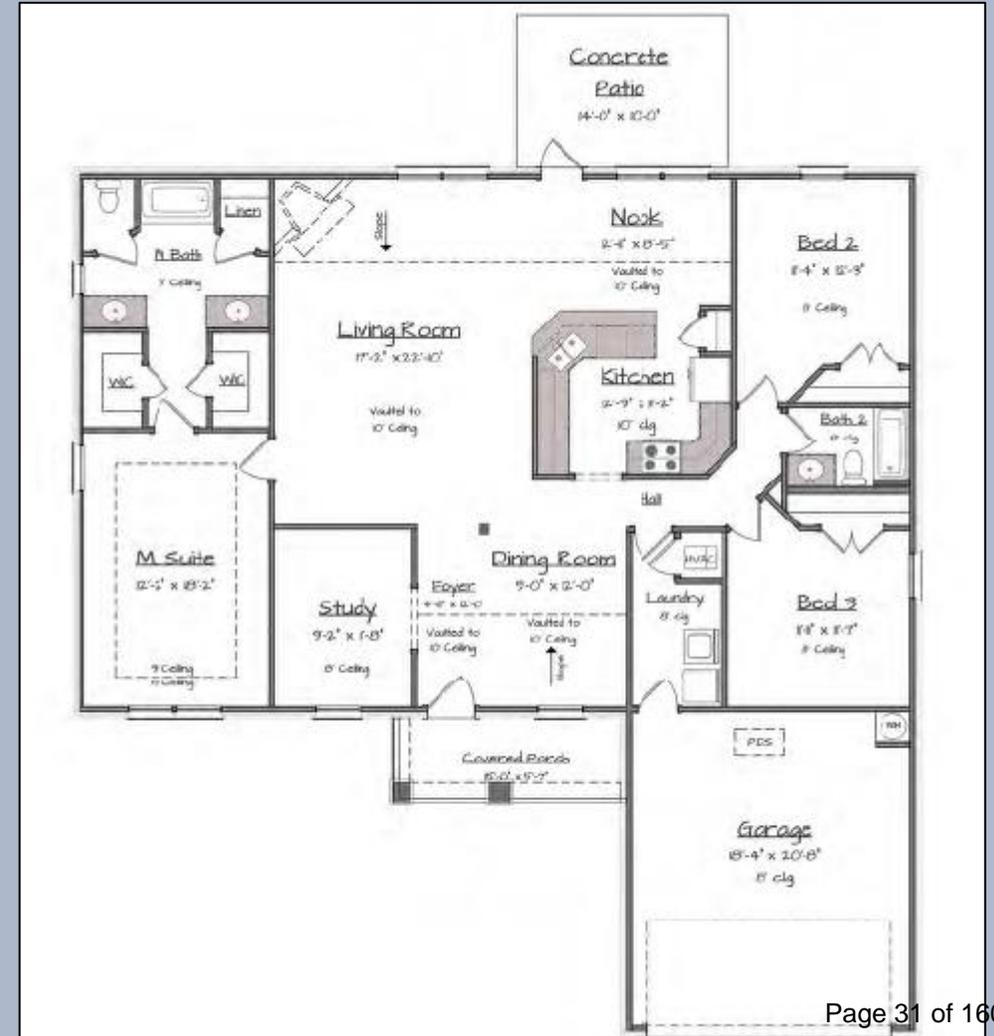
Elevation “D”



- “2010” also expected to be a favored plan in Fox Paw Creek.



**2010**  
 2010 s.f. (approx)  
 3 Bedroom / 2 Baths  
 2 Car Garage  
 Covered Front Porch







- Up to 50 lots (19%) in Fox Paw Creek to be reserved for homes less than 2000 heated sq. ft. minimum: “1930” Plan



**1930**  
 1,930 s.f. (approx)  
 4 Bedroom / 2 Baths  
 2 Car Garage  
 Covered Front Porch



Elevation "B"



**REPORT TO THE PLANNING COMMISSION**

**CAPTION / SUBJECT:** Application for a Zoning Map Amendment, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to rezone 2.06+/-acres from M-2, Heavy Industrial District, to C-2, Highway Commercial District, for the purpose of establishing a medical clinic at this location. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd.

- EXHIBITS:**
- 1. Aerial Map
  - 2. Explanation Letter
  - 3. Future Land Use Map
  - 4. Zoning Map

**EXECUTIVE SUMMARY:** This application requests the rezoning of approximately 2.06 acres from M-2, Heavy Industrial District to C-2, Highway Commercial District. The subject property is located on the east side of Hacks Cross Road, north of Airport Road. No error in the existing zoning is claimed. The Comprehensive Plan 2040, Future Land Use Map designates the property as Industrial Distribution. Staff recommends approval based on the findings that over the years, the character of development along Hacks Cross Rd. has evolved from agricultural to a mixture of commercial and industrial uses, and that commercial uses of the sort permitted in the C-2 District would serve the public need for services and commodities along the corridor.



## 1. BACKGROUND:

### 1) Purpose

Currently, the applicant intends to use the property for a medical office. Rezoning the property to C-2, however, will permit all uses by right in the C-2 Zoning District that the site may be suitable for, and at an intensity that the site can support. Such uses include banking, retail, grocery, medical and other professional services, offices, hotels and restaurants just to mention a few. Conditional uses in this district may also be permitted if approved by the Board of (Zoning) Adjustment.

### 2) Area of Property

Un-platted 2.06 ± acres. The applicant has submitted a separate subdivision plat application for the parcel (see Application #SD25-0031).

### 3) Current Land Use of Property and its Surrounding

The property has one unoccupied structure, which according to tax records was built in 1980. The building was recently used as a Cadence Bank under a conditional use permit in the M-2 Zoning District. Industrial and Distribution facilities adjoin the property.

### 4) Surrounding Zoning and Uses

Figure 1 below shows the property and its surrounding zoning districts designations. There are two (2) properties within 500 ft. from the subject property are zoned (C-2, Highway Commercial District) and C-3 (General Commercial District). Given the overall character of the Hack Cross Road corridor, where commercial uses are intermingled with primarily light industrial activities, the rezoning of the property to C-2, considering its surroundings, may not be regarded as spot zoning.



Figure 1 Surrounding Zoning and Uses

**ANALYSIS:** The criteria used to evaluate a rezoning are listed below:

**1. The original zoning classification for the property was a mistake; or that,**

Applicant's Submission: The current zoning was not incorrect.

Staff Finding: To suggest that “the original zoning classification was a mistake” would imply that the property should have been zoned differently. The property has been zoned M-2 since it was annexed into the city in 1990.

**2. The character of the neighborhood has changed to such an extent to justify the proposed rezoning; (If the proposed zoning classification does not conform to the City's General Development Plan, the applicant shall be required to offer proof with regard to what major economic, zoning, physical, or social changes, if any, have occurred in the vicinity of the property in question, which were not anticipated by the General Development Plan, and which have altered the basic character of the area, to make the amendment appropriate.) and that,**

Applicant's Submission: The character of the neighborhood has significantly changed over the past decades and this request would more closely match and compliment the zoning of the properties along Hacks Cross Rd.

Staff Finding: Over the years, the character of the Hacks Cross Rd. corridor from Goodman Rd. to Stateline Rd. has changed from vacant agricultural land to a mixture of commercial and industrial uses. Figure 1 reflects these changes.

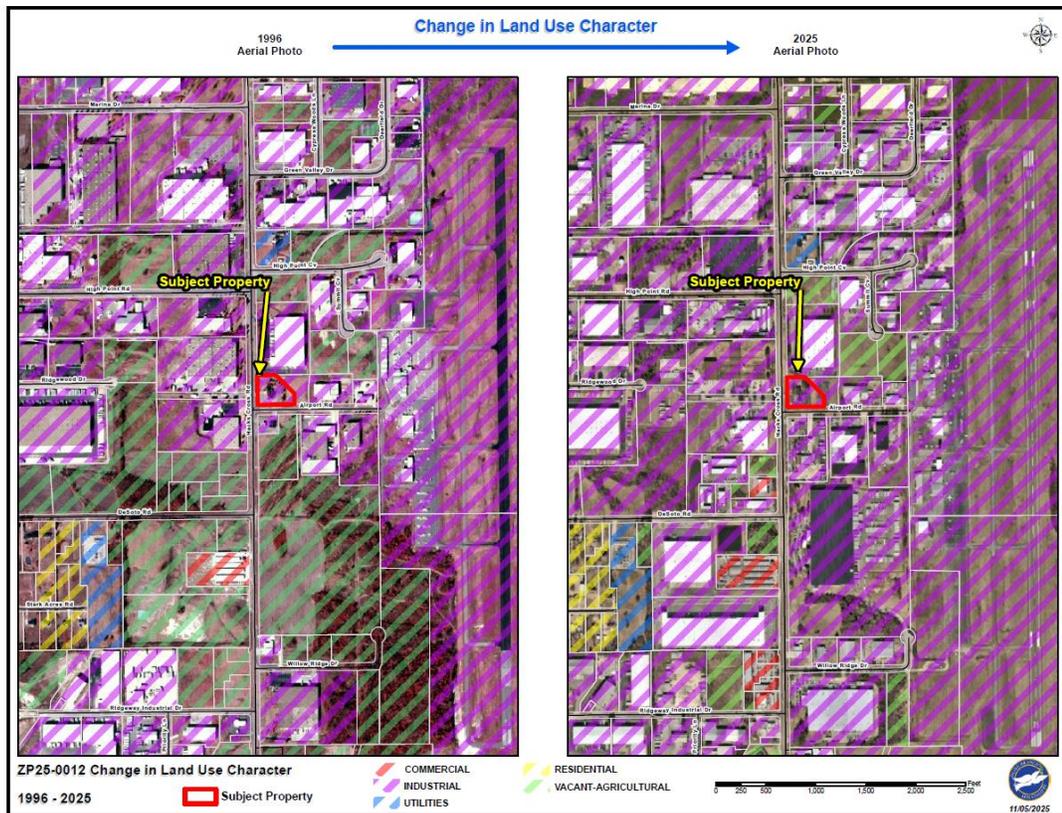


Figure 1 Change in land use

**3. A public need exists for the rezoning.**

Applicant's Submission: There has been an increase in the need for medical support services with the Methodist Hospital at Hacks Cross and Interstate 22.

Staff Finding: Development patterns in the area suggest there is strong market demand in The City for land designated as Commercial. Although the property is designated as "Industrial Distribution" in the Future Land Use Map, there are several Comprehensive Plan goals and objectives that support economic development. Having commercial uses along Hacks Cross Rd. could provide additional convenient commercial services to the general public driving through the corridor and to workers in nearby industrial land uses.

**RECOMMENDED MOTION:** Based on the aforementioned findings that the rezoning criteria have been met, namely, that the character of the Hacks Cross Road Corridor has changed in the last three decades from agricultural to a mixture of commercial and light industrial land uses, and rezoning the property to C-2 would serve the public need for services and commodities along the corridor, approve the application and recommend that the Board of Aldermen rezone the 2.06 +/- acres property at 8274 Hacks Cross Rd., from its current zoning designation of M-2, Heavy Industrial, to C-2, Highway Commercial zoning District.

---

PREPARED BY: *James J. McCarty* DATE: 12/02/25  
 CHECKED FOR SUBMISSION TO THE COMMISSION BY: *Asong* DATE: 12/02/2025  
 MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

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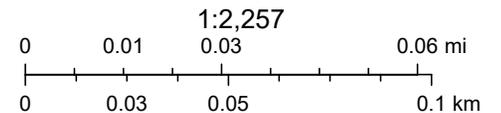
	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE							
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

# EXHIBIT 1 AERIAL MAP



12/2/2025, 11:14:29 AM

- |                |                           |               |              |
|----------------|---------------------------|---------------|--------------|
| PointAddresses | Tax Parcels               | Roads         | Local Road   |
| County Outline | <all other values>        | Interstate    | Private Road |
| Municipalities | PRELIMINARY 2024 LANDROLL | US Highway    | Ramp         |
|                | PRELIMINARY 2025 LANDROLL | State Highway | IH           |



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

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Vants Realty, LLC

Attn: Vish Prasad, Authorized Member  
4527 Whisper Spring Dr  
Collierville, TN 38017  
Email: emailvis@gmail.com  
Phone: 585-530-0999

Date: October 9, 2025

Planning Commission  
City of Olive Branch  
9200 Pigeon Roost Road  
Olive Branch, MS 38654

**Subject: Rezoning Request for 8274 Hackscross Road from M-2 (Industrial) to C-2 (Commercial) for Medical Office Use**

Dear Members of the Olive Branch Planning Commission,

On behalf of **Vants Realty, LLC**, I respectfully submit this request to rezone the property located at **8274 Hackscross Road, Olive Branch, MS 38654** from **M-2 (Industrial)** to **C-2 (Highway Commercial)**.

Vants Realty is the current owner of the property, which we intend to lease to **Midsouth Rheumatology**, a reputable specialty medical practice currently operating in Collierville, Tennessee ([www.midsouthrheumatology.com](http://www.midsouthrheumatology.com)).

The property was previously occupied by **Cadence Bank** under a conditional use permit in the M-2 zoning district. While the structure was technically zoned for industrial use, its design, parking layout, and operational footprint are more consistent with commercial or professional office use.

**Proposed Use:**

Midsouth Rheumatology plans to utilize the building as a medical clinic and administrative office. The facility will provide non-invasive outpatient care in rheumatology, serving patients throughout North Mississippi and the greater Memphis area. Operations will be low-traffic, appointment-based, and fully compatible with surrounding properties.

**Justification for Rezoning:**

1. **Compatibility with Surrounding Uses:** The area has transitioned from industrial to

commercial and service-oriented uses, making C-2 zoning appropriate.

2. **Public and Economic Benefit:** The clinic expands access to healthcare, creates professional jobs, and contributes positively to the tax base.

3. **Minimal Infrastructure Impact:** The property's current facilities meet all needs without further public investment.

4. **Alignment with City Vision:** The change supports Olive Branch's comprehensive plan for balanced, professional, and low-impact commercial growth.

**Conclusion:**

Given the property's location, existing improvements, and proposed medical use, we believe rezoning 8274 Hackscross Road from M-2 to C-2 is in the best interest of both the City of Olive Branch and its residents.

We respectfully request your approval of this rezoning petition and are available to provide any additional information as needed.

Thank you for your consideration.

Sincerely,

**Vish Prasad**

Authorized Member, Vants Realty, LLC

Phone: 585-530-0999

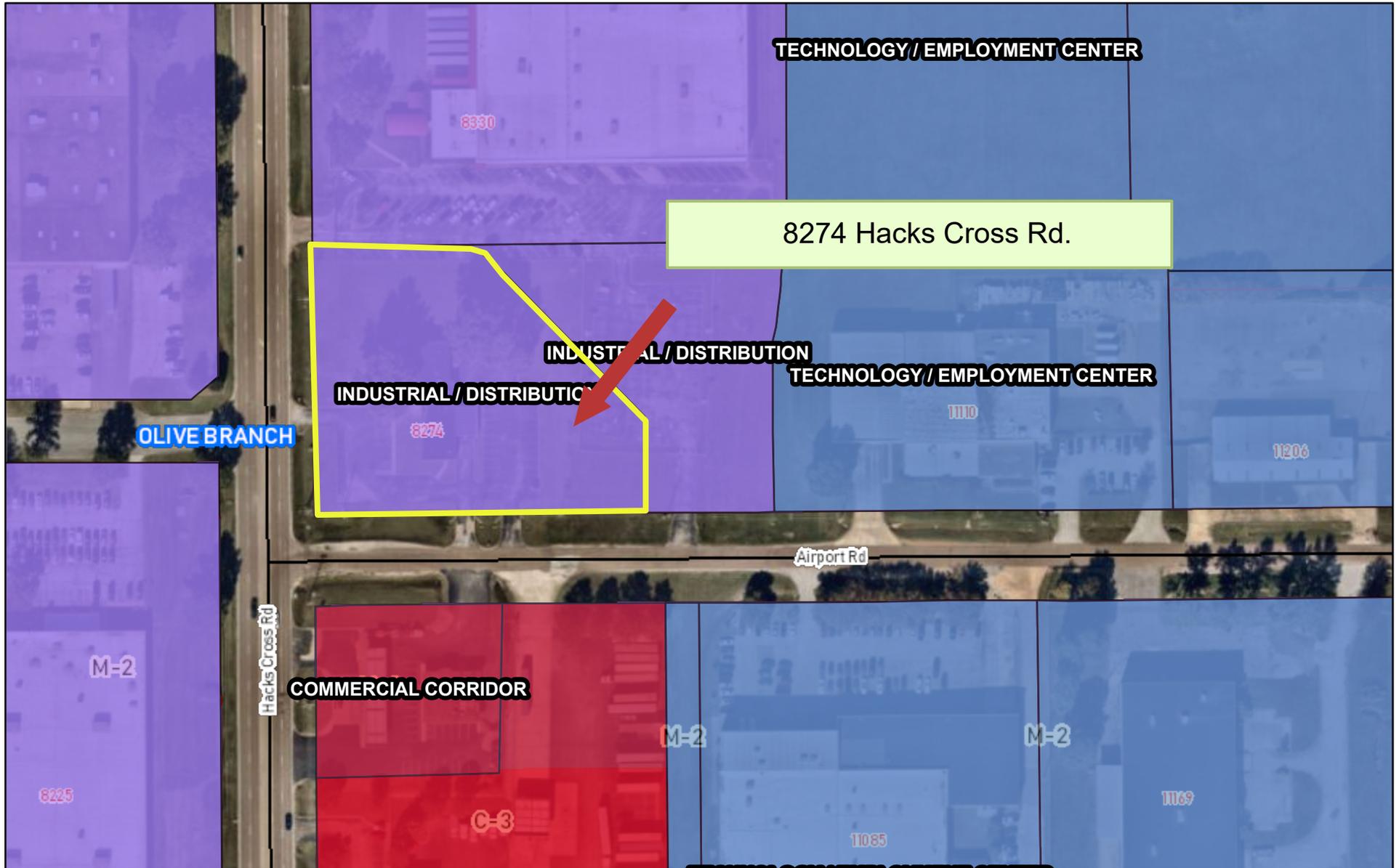
Email: emailvis@gmail.com



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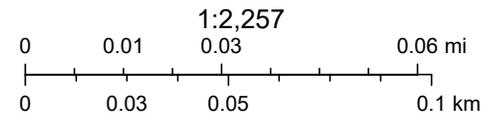
Vish Prasad, Authorized Member

# EXHIBIT 3 FUTURE LAND USE MAP



12/2/2025, 11:19:30 AM

OB FUTURE LAND USE	A-R OVERLAY	ER	PB	R-12	R-3	R-6 OVERLAY	PointAddresses
INDUSTRIAL / DISTRIBUTION	C-1	HISTORIC DISTRICT OVERLAY	PBP	R-12 OVERLAY	R-30	R-8	County Outline
TECHNOLOGY / EMPLOYMENT CENTER	C-2	PO	PO	R-15	R-30 OVERLAY	R-8 OVERLAY	Municipalities
COMMERCIAL CORRIDOR	C-3	PUD	PUD	R-15 OVERLAY	R-4	R-9	Tax Parcels
Zoning	C-4	PUD OVERLAY	PUD OVERLAY	R-2	R-40	RM-6	<all other values>
A	C-5	MAIN STREET DISTRICT	MAIN STREET DISTRICT	R-1	R-20	RM-8	PRELIMINARY 2024 LANDROLL
A-R	CM OVERLAY	O	O	R-10	R-20 OVERLAY	R-6	PRELIMINARY 2025 LANDROLL
							Roads



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

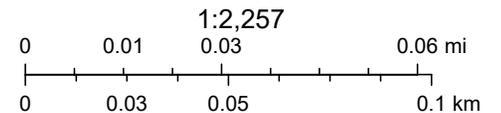
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# EXHIBIT 4 CURRENT ZONING MAP



12/2/2025, 11:17:49 AM

Zoning	C-4	M-3	PUD OVERLAY	R-2	R-40	RM-6	Tax Parcels
A	C-5	MAIN STREET DISTRICT	R-1	R-20	R-40 OVERLAY	RM-8	<call other values>
A-R	CM OVERLAY	O	R-10	R-20 OVERLAY	R-6	RO	PRELIMINARY 2024 LANDROLL
A-R OVERLAY	ER	PB	R-12	R-3	R-6 OVERLAY		PRELIMINARY 2025 LANDROLL
C-1	HISTORIC DISTRICT OVERLAY	PBP	R-12 OVERLAY	R-30	R-8	County Outline	Roads
C-2	M-1	PO	R-15	R-30 OVERLAY	R-8 OVERLAY	Municipalities	Interstate
C-3	M-2	PUD	R-15 OVERLAY	R-4	R-9		US Highway
							State Highway



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

REPORT TO THE PLANNING COMMISSION

**CAPTION / SUBJECT:** Application for a Final Plat for Prasad Rheumatology Subdivision, submitted by Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner. The request is to subdivide 2.06+/- acres into a single lot. The subject property is at the northeast corner of Hacks Cross Rd and Airport Rd, known as 8274 Hacks Cross Rd.

- EXHIBITS:**
- 1. Aerial Map
  - 2. Utility Map
  - 3. Final Plat

**EXECUTIVE SUMMARY:**

The applicant, Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner, requests approval of a final plat for the Prasad Rheumatology 1 Lot subdivision. The subject property is ±2.06 acres and is currently improved with a single-commercial structure and drive thru. The subdivision will create one lot. The plat meets the regulatory zoning and lot requirements. Any needed utility extension shall be the responsibility of the developer. Staff recommends approval of the final plat subject to multiple conditions.



**1. BACKGROUND:**

The applicant, Bob Farley, Farley Surveying, on behalf of Vish Prasad, Vants Realty LLC, property owner, requests approval of a final plat for the Prasad Rheumatology 1 Lot subdivision. The property is ±2.06 acres and was annexed into the city in 1990. It contains a commercial structure and drive thru. To fulfill City regulatory requirements, the subject property must be platted and recorded before a building permit may be issued for any improvements on the proposed lot.

**2. ANALYSIS:**

**2.1 Zoning and Lots**

The subject property is located at the eastern side of Hacks Cross Rd., just north of Airport Rd. in the M-2, Heavy Industrial zoning district. The applicant has submitted a separate application (see Application #ZP25-0012) for the rezoning of the property to C-2, Highway Commercial district. The final plat adheres to the City’s lot requirements.

**2.2 Utilities**

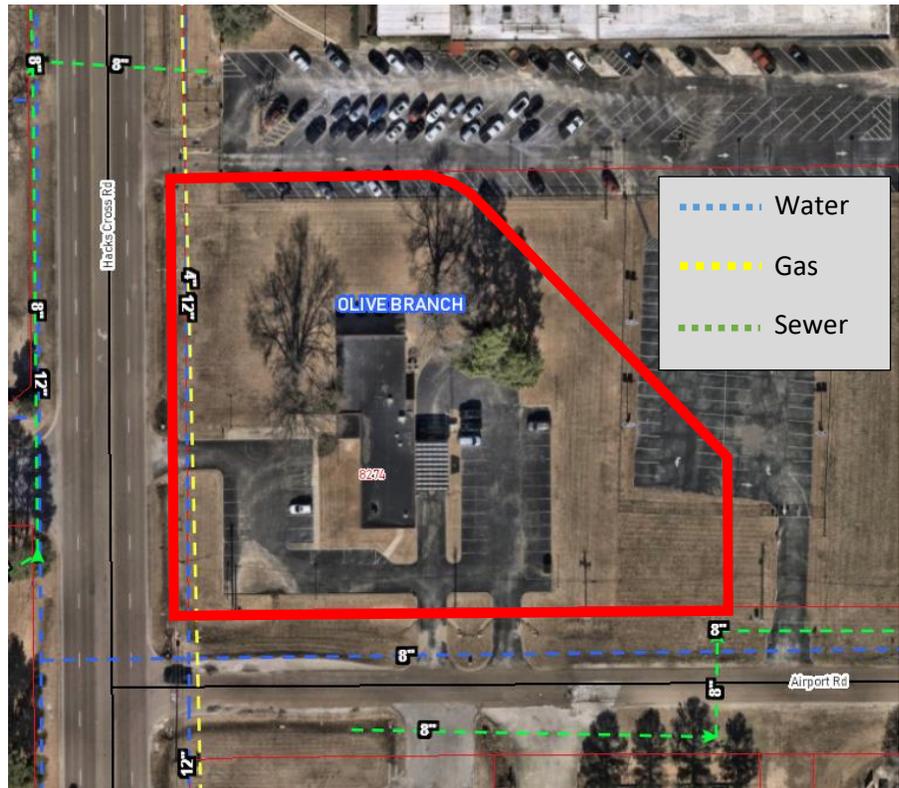
Public utility services such as water sewer and gas are readily available in the vicinity of the property. A 4” gas line and a 12” water line are located on the eastern side of Hacks Cross Rd. An 8” sewer line is located at the southeastern corner of the property along Airport Rd. Any necessary utility extension shall be the responsibility of the developer.

**2.3 Transportation**

There are existing paved access driveways along Hacks Cross Rd and Airport Rd. The roads are curbed and do not contain sidewalks on either side. Thus, a condition of approval will be to waive the 5’ wide sidewalks along the subject property’s frontage.

**2.4 Financial Guarantee**

Should the property owner desire to record the plat before completion of and required improvements, the property owner shall provide a financial guarantee to the City.



2.5 Variations and Deviations

The applicant does not request a variance or deviation from the standards of the Zoning Ordinance and/or Subdivision Regulations as may apply to the subject property. Staff does not find that a variance or deviation is necessary.

2.6 Waivers

The requirement for sidewalk construction is waived due to the lack of sidewalks along Hacks Cross Rd. and Airport Rd.

3. **NEXT STEPS:** Upon recommendation by the Planning Commission, the plat will be forwarded to the Mayor and Board of Aldermen for consideration. If approved by said Board, the plat would need to be recorded before a building permit can be issued for any development on the lot.

4. **STAFF RECOMMENDATION:** Staff recommends that the Planning Commission approve the final plat and recommend same to the Board of Aldermen, subject to the following:

1. All lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. The requirement for the property owner to construct a 5' wide sidewalk along Hacks Cross Rd and Airport Rd. is waived.
3. Unless otherwise specified, all utilities and services (electric, telephone, cable, etc.) shall be installed underground.
4. Future development on the lot shall comply with the applicable requirements of the City's various land development regulations.
5. Minor edits are applicable to the Final Plat as required by City regulations and deemed necessary by City staff.
6. The final plat must be recorded before a building permit may be issued for any development on the proposed lot.

PREPARED BY: Jeremiah J. McCluskey DATE: 11/5/25  
 CHECKED FOR SUBMISSION TO THE COMMISSION BY: Asong DATE: 11/05/2025  
 MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

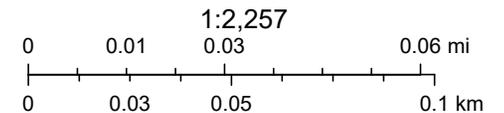
VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

# EXHIBIT 1 AERIAL MAP



12/2/2025, 11:14:29 AM

- |                |                           |               |              |
|----------------|---------------------------|---------------|--------------|
| PointAddresses | Tax Parcels               | Roads         | Local Road   |
| County Outline | <all other values>        | Interstate    | Private Road |
| Municipalities | PRELIMINARY 2024 LANDROLL | US Highway    | Ramp         |
|                | PRELIMINARY 2025 LANDROLL | State Highway | IH           |



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

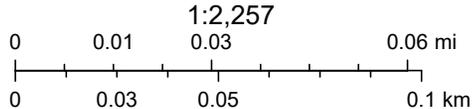
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# EXHIBIT 2 UTILITY MAP



12/2/2025, 11:34:53 AM

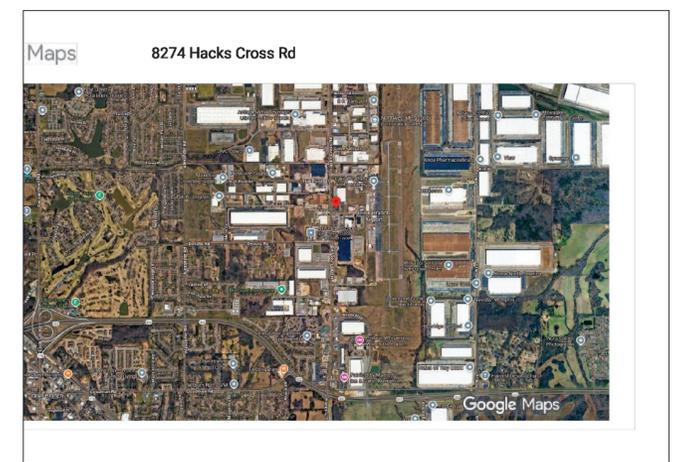
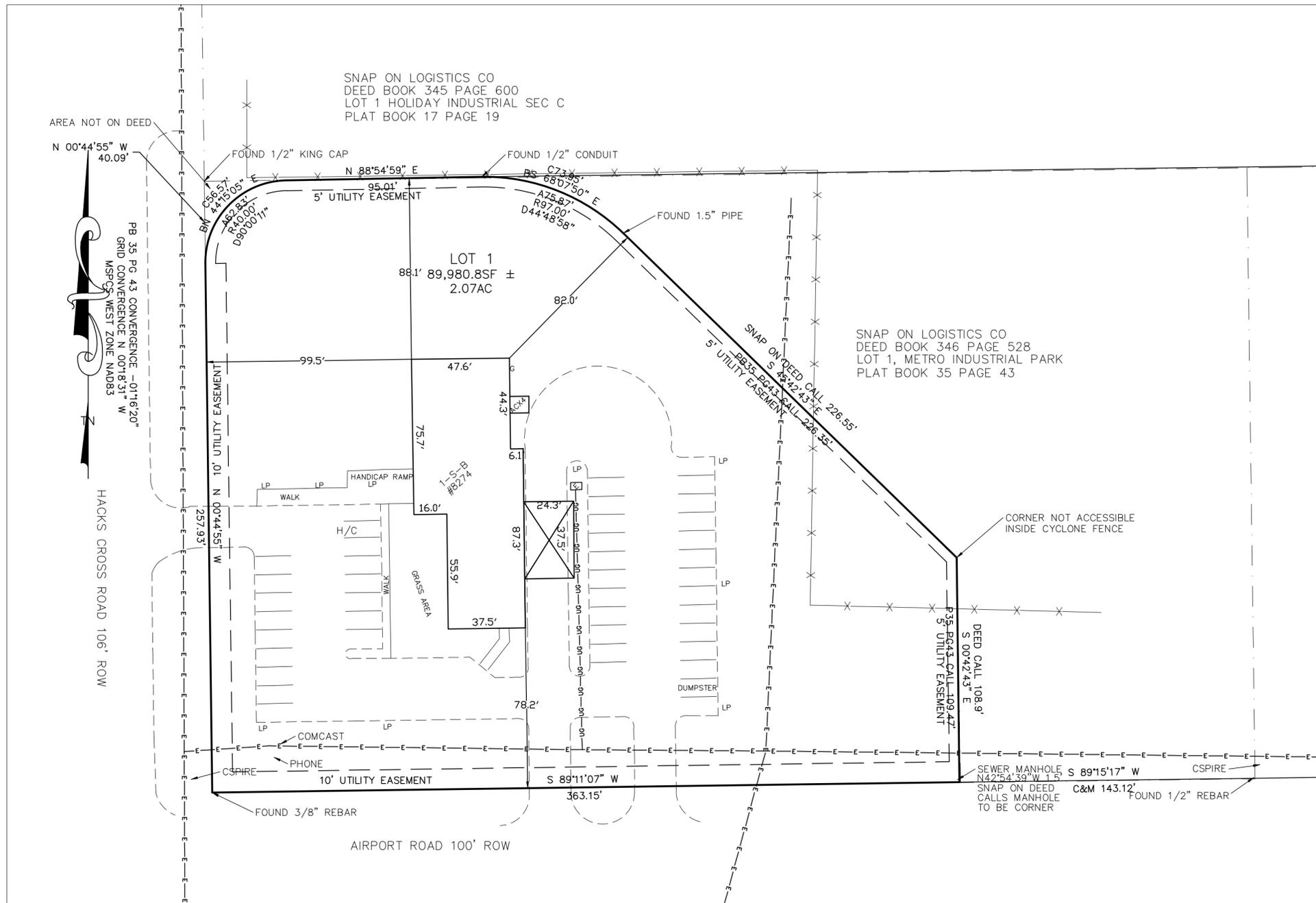
- GAS MAIN LINES
  - Not Field Verified
- SEWER MANHOLE
- SEWER GRAVITY MAIN
  - NOT FIELD VERIFIED
- HYDRANTS
- WATER MAINS
  - NOT FIELD VERIFIED
- PointAddresses
- County Outline
- Municipalities
- Tax Parcels
- <all other values>
- PRELIMINARY 2024 LANDROLL
- Roads
  - Interstate
  - US Highway
  - State Highway
  - Local Road
  - Private Road
  - Ramp
  - IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

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**FARLEY SURVEYING, LLC**  
 ROBERT EDWARD FARLEY  
 235 WEST CHULAHOMA AVENUE  
 HOLLY SPRINGS, MS 38635  
 Phone: (662) 544-2050  
 bob@farleysurveying.com



Engineered By:  
N/A  
 Drawn By:  
BF  
 Checked By:  
BF

PRASAD RHEUMATOLOGY  
 8274 HACKS CROSS ROAD  
 SEC 24, T-1-S, R-6-W  
 Date: 10/14/2025  
 Scale: 1"=40'  
 Filename: 8274HACKS.DWG

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF FARLEY SURVEYING, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN PERMISSION.  
 Drawing No: 2025-10-4  
 Sheet No.: 1\_OF\_2

No.	Date	Revision	By

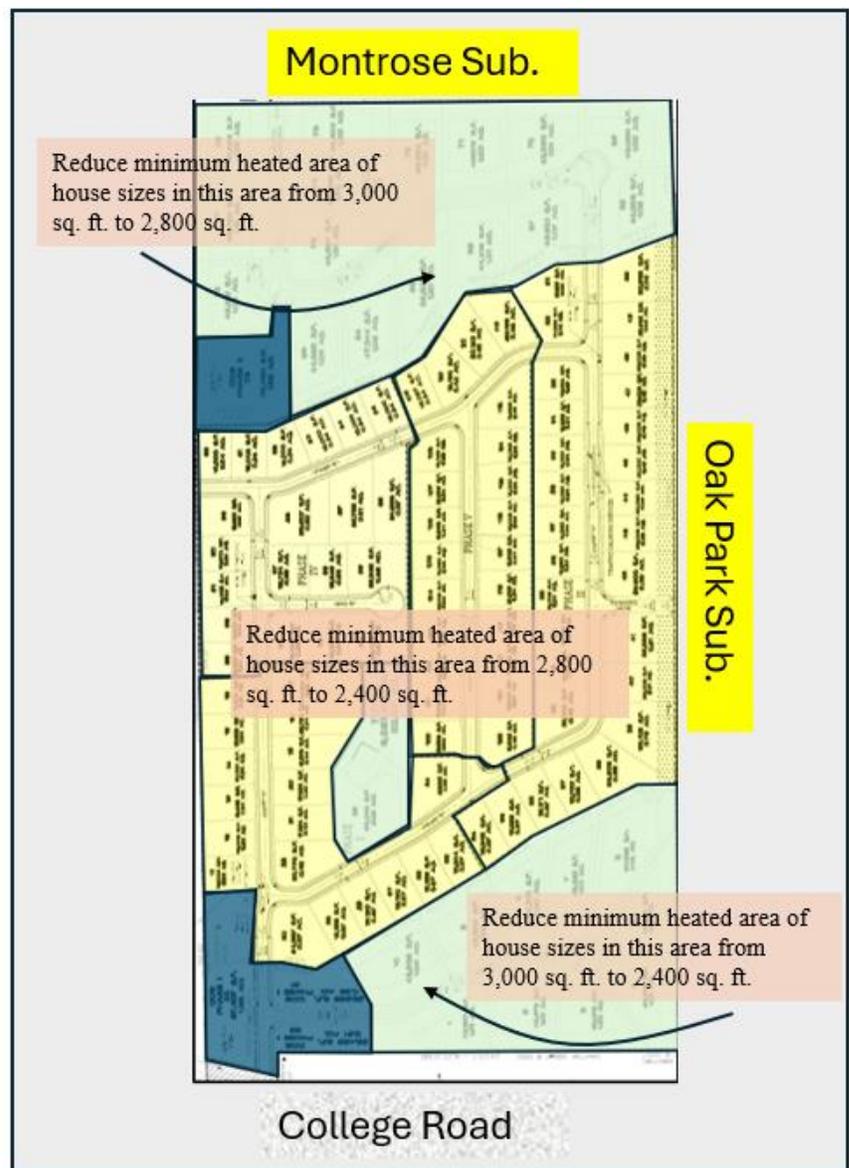
**REPORT TO THE PLANNING COMMISSION**

**CAPTION/SUBJECT:** Application to amend Preliminary Plat Approval Condition number 6 of Rosewood Subdivision, submitted by Chance Walker, Smith-Walker Engineering, on behalf of property owner Jon Reeves. The request is to reduce the minimum heated area of houses in the Agricultural-Residential District (A-R) zoned areas in the north of the subdivision from 3000 sq. ft. to 2800 sq. ft. and to decrease the minimum heated area of houses in all other areas of the subdivision from 3000 sq. ft. and 2800 sq. ft. to 2400 sq. ft. The 82.37+/- acre subject property is zoned A-R and R-1, (Single-Family Residential District) and is located on the east side of Craft Road and north of College Road, known as 7200 College Road.

- EXHIBITS:**
- 1. Aerial Map
  - 2. Board of Aldermen Order Approving Preliminary Plat
  - 3. Housing Comparison Worksheets
  - 4. Future Land Use Map

**EXECUTIVE SUMMARY:** The Preliminary Plat of Rosewood Subdivision was approved on January 21, 2025. The conditions of the Preliminary Plat approval set forth the design, density, placement, and sizes of the 118 lots. This application proposes to amend approval condition # 6. It seeks to reduce the minimum heated square footage of future houses on the 17 preliminary lots located in northern 22.05+/- acres area, "Phase III" from 3000 sq. ft. to 2800 sq. ft. It also seeks to reduce the minimum heated area of future houses in the remainder 76 lots from 3000 sq. ft. and 2800 sq. ft. to 2400 sq. ft. The applicant submits that the relatively smaller house sizes would better meet market demand; thus, fulfilling a public need.

The current application does not propose changes in lot sizes, the general layout of the subdivision, buffers and/or accessibility (transportation). The proposed minimum heated area of houses would generally align with houses in the property's surrounding. Therefore, staff recommends approval.



**BACKGROUND:** On January 21, 2025, the Board of Aldermen rezoned 46.88+/- acres portion of a piece of property, located approximately ¼ mile northeast of the intersection of Craft and College Rd., from A-R, Agricultural Residential District to R-1 Single Family Residential.

The subject area of the rezoning consisted of 92 detached single family residential lots, being part of the “Rosewood Subdivision.” Together with the rest of the parcel that was not rezoned, the “Rosewood Subdivision” preliminary plat sought to create 118 lots. The smallest buildable proposed lot was 15,000 sq ft. and the largest was 60,882 sq ft. Future larger lots of at least 1 acre, however, adjoin Montrose subdivision to the north and were suggested along College Rd to the south. Two lots along the creek that runs from the northwestern line to the south end of the property will be dedicated for stormwater retention. A 50’ wide tree preservation easement along the east perimeter would eventually be recorded via a final plat in favor of the HOA.

**ANALYSIS:** The developer proposes to reduce the minimum heated area of houses that would adjoin Montrose Subdivision from 3,000 sq. ft to 2800 sq. ft. The Conditions, Covenants, and Restrictions (CCRs) of Montrose Subdivision provides for houses with 2400 sq. ft. minimum heated area.

City policy and historical practice define properties within 500 ft of concerned parcel of land as “affected area”. Table 1 shows the heated area (base area) of existing houses in Montrose Subdivision and in Oak Park Subdivision that are within 500 ft of the Rosewood Subdivision for which the developer proposes to reduce the min. heated area of house sizes from 3,000 sq. ft. to 2,800 sq. ft.



In Montrose			
Address	Base Area	Adj. Area	
4511 PLANTATION GARDEN DR	2,168	3,854	
4535 PLANTATION GARDEN DR	2,636	3,120	
4561 PLANTATION GARDEN DR	1,792	2,730	
7327 FEATHERSTON CV	3,337	4,603	
7353 FEATHERSTON CV	2,735	4,256	
7377 FEATHERSTON CV	1,974	3,010	
7401 FEATHERSTON CV	2,545	3,100	
7455 FEATHERSTON CV	2,161	3,272	
7459 FEATHERSTON CV	2,677	3,496	
7463 FEATHERSTON CV	1,974	2,543	
In Oak Park			
Address	Base Area	Adj. Area	
7612 SAVANNAH CV	1,225	2,000	
7605 SAVANNAH CV	1,931	3,240	
In Payne Flynn Sec B			
Address	Base Area	Adj. Area	
7545 KELLEY CV	2,176	3,189	
Average Base Area: <u>2,256</u>			

Table 1

Considering the Average Base Area is 2,399 sq. ft., which is less than the proposed 2,800 sq. ft. in Rosewood Subdivision it may be asserted that the proposed minimum heated area reduction would not negatively affect the character of the area.

The developer also proposes to reduce the minimum heated area of houses in the rest of the subdivision from 3,000 sq. ft. and 2,800 sq. ft. to 2400 sq. ft.

The Oak Park CCRs stipulate that *“In no case shall the total heated footage be less than 2000 sq. ft.”* Table 2 below shows the heated area (base area) of existing houses in Oak Park Subdivision that are within 500 ft of the area in Rosewood Subdivision for which the developer proposes to reduce the min. heated area of houses from 3,000 sq. ft. and 2,800 sq. ft. to 2,400 sq. ft.



In Oak Park		
Address	Base Area	Adj. Area
4329 ELIZABETH CIR W	2,645	3,934
4319 ELIZABETH CIR W	2,380	2,758
4297 ELIZABETH CIR W	2,392	3,874
4275 ELIZABETH CIR W	2,420	3,399
4253 ELIZABETH CIR W	2,040	3,229
4231 ELIZABETH CIR W	1,700	2,643
7624 RIGMOORE PT N	2,014	3,334
7618 RIGMOORE PT N	2,144	2,783
7617 RIGMOORE PT S	2,738	3,272
7623 RIGMOORE PT S	2,115	2,521
7629 RIGMOORE PT S	1,918	3,268
Average Base Area; <u>2,201</u>		

Table 2

Considering that the “affected area” has an Average Base Area of 2,201 sq. ft., which is less than the proposed 2,400 sq. ft.; it may be asserted that the suggested minimum area reduction would not negatively affect the character of the area.

From a public need perspective, the proposed reductions would broaden housing options and promote housing attainability in the City. The applicant provided a new-home comparison worksheet showing market data for homes of similar size. Of all homes sold in DeSoto County from January to October 2025, only 20% were houses with a minimum heated area of 2,800 heated sq. ft. to 3,000 heated sq. ft. in Olive Branch.

Within the 2,400–2,600 square-foot range, 87 homes were sold in Desoto County, with 14 (16.9%) sold in Olive Branch in the same time period. Generally, homes in Olive Branch sized 2,800–3,000 square feet sold for an average of \$511,458, while those sized 2,400–2,600 square feet averaged \$427,847.

**RECOMMENDED MOTION:** Based on a finding that the proposed amendment would not be misaligned with the house sizes character of the area, amend the Rosewood Subdivision preliminary plat condition no. 6 as follows:

6. For Final Plat submittal, the Declaration of Covenants Conditions & Restrictions will need to be submitted and customized for the Rosewood Subdivision. The Declaration language should include the intent to impose a 2800 heated sq. ft. minimum house size on lots in the R-1 zone and a 3,000 heated sq. ft. minimum 70% brick content on all sides of buildings and address the garage orientation by requiring side entry.

6. For Final Plat submittal, the Declaration of Covenants Conditions & Restrictions will need to be submitted and customized for the Rosewood Subdivision. The Declaration language should include the intent for the minimum heated area of houses in the A-R zoned area north of the R-1 District to be 2,800 sq. ft., and the minimum heated area of houses in the rest of the subdivision to be 2,400 sq. ft. A minimum 70% brick content on all sides of buildings and address the garage orientation by requiring side entry.

PREPARED BY: *James S. McChesney* DATE: 12/08/25  
 CHECKED FOR SUBMISSION TO THE COMMISSION BY: *Asong* DATE: 12/3/2025  
 MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

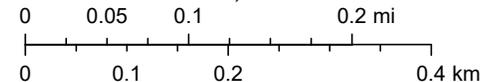
# EXHIBIT 1 AERIAL MAP



11/24/2025, 2:52:26 PM

1:9,028

- |                |                           |               |              |
|----------------|---------------------------|---------------|--------------|
| PointAddresses | Tax Parcels               | Roads         | Local Road   |
| County Outline | <all other values>        | Interstate    | Private Road |
| Municipalities | PRELIMINARY 2024 LANDROLL | US Highway    | Ramp         |
|                | PRELIMINARY 2025 LANDROLL | State Highway | IH           |



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City of Olive Branch

# EXHIBIT 3

## Comparison (January - October)

### Sales Comparison

2,800 - 3,000 sf Houses Closed  
25 Closings in DeSoto County  
6 Closings in Olive Branch

2,400- 2,600 sf Houses Closed  
73 Closings in DeSoto County  
14 Closings in Olive Branch

---

### Price Comparison

2,800 to 3,000 sf Sales Price - \$511,458  
2,400 to 2,600 sf Sales Price - \$427,847

<b>Breakdown on \$179/Foot - (Heated)</b>		
	<b>2,400 sf</b>	<b>2,800 sf</b>
Sales Price	\$429,600	\$501,200
Down Payment	\$85,920	\$100,240
Financed Amount	\$343,680	\$400,960
House Note	\$2,062	\$2,405
*(Not including Taxes & Insurance)		
Interest	6% for 30 Years	6% for 30 Years
<b>***Based on 20% Conv Loan at 6% for 30 Years</b>		

Residential CMA

Listings as of 11/03/25 at 3:54 PM

Property type Residential; Status of 'Closed'; Property Sub Type of 'Single Family Residence'; County of 'DeSoto'; Approx H/C SqFt between 2400 and 2600; New Construction of 'Yes'; Closing Date between '01/01/2025' and '10/31/2025'.

Closed Properties

#	MLS #	Prop Type	Address	City	Subdivision	Yr Bld	Beds	Full Bth	Half Bth	Approx H/C SqFt	List Price	Close Price	Close Price/SqFt	Close Concessions	Close Date	DOM	CDOM
1	4107619	Residential	5353 Borden Crk Drive	Olive Branch	Southbranch	2024	5	3	0	2,400	\$425,990	\$428,990	\$178.75	10,000	06/30/2025	0	0
2	4110586	Residential	5332 John Neilson Way	Olive Branch	Southbranch	2025	5	3	0	2,400	\$434,990	\$440,040	\$183.35	10,000	10/10/2025	0	0
3	4113303	Residential	1464 Crk Hvn Drive	Hernando	Montclair	2025	4	3	0	2,400	\$404,900	\$399,900	\$166.63	10,000	05/14/2025	0	0
4	4090170	Residential	673 Wells Drive	Hernando	Cross Winds	2024	4	2	0	2,400	\$403,900	\$403,900	\$168.29	10,500	03/27/2025	178	178
5	4102341	Residential	586 Wells Drive	Hernando	Cross Winds	2025	4	3	0	2,402	\$408,900	\$408,900	\$170.23	12,267	02/03/2025	0	0
6	4079913	Residential	6599 Grand Oak Lane	Southaven	Silo Square	2024	3	2	0	2,403	\$446,900	\$446,900	\$185.98	4,469	03/12/2025	270	270
7	4103301	Residential	4237 Adriane Cove	Nesbit	Bakersfield	2025	5	3	0	2,410	\$459,900	\$465,000	\$192.95	13,950	04/15/2025	44	44
8	4082081	Residential	7641 Crosswinds Boulevard	Hernando	Cross Winds	2024	4	3	0	2,419	\$409,700	\$409,700	\$169.37	9,000	01/28/2025	199	199
9	4100072	Residential	690 Lucas Lane	Hernando	Cross Winds	2025	5	3	0	2,424	\$416,400	\$416,400	\$171.78	12,000	10/02/2025	241	241
10	4103143	Residential	691 Wells Drive	Hernando	Cross Winds	2025	5	3	0	2,424	\$416,400	\$416,400	\$171.78	8,845	08/20/2025	166	166
11	4110098	Residential	2078 Legacy Lane	Hernando	Scott Meadows	2025	5	3	0	2,424	\$421,900	\$421,900	\$174.05	13,702	10/27/2025	157	157
12	4113033	Residential	604 Wells Drive	Hernando	Cross Winds	2025	5	3	0	2,428	\$412,900	\$412,900	\$170.06	16,516	05/12/2025	0	0
13	4116505	Residential	712 Wells Drive	Hernando	Cross Winds	2025	5	3	0	2,428	\$412,900	\$412,900	\$170.06	12,000	06/17/2025	0	0
14	4101797	Residential	7704 Crosswinds Boulevard	Hernando	Cross Winds	2025	4	2	0	2,433	\$413,900	\$413,900	\$170.12	12,417	09/26/2025	216	216
15	4086142	Residential	1302 Creekside Lane	Hernando	Creekside Meadow	2024	4	2	0	2,433	\$389,900	\$389,900	\$160.25	0	04/18/2025	261	261
16	4106882	Residential	7544 Willow Way	Hernando	Cross Winds	2025	4	2	0	2,438	\$407,900	\$407,900	\$167.31	9,456	04/17/2025	0	0
17	4093904	Residential	7555 Willow Way	Hernando	Cross Winds	2024	4	2	0	2,438	\$407,900	\$407,900	\$167.31	12,273	01/21/2025	63	63
18	4084533	Residential	2406 Scott Meadows Lane	Hernando	Scott Meadows	2024	4	2	0	2,438	\$422,600	\$422,600	\$173.34	7,000	08/18/2025	365	365
19	4097400	Residential	7664 Crosswinds Boulevard	Hernando	Cross Winds	2024	5	3	0	2,440	\$412,900	\$412,900	\$169.22	5,000	03/18/2025	94	94
20	4084876	Residential	1648 S Clair Circle	Hernando	Montclair	2024	4	3	0	2,440	\$414,900	\$414,900	\$170.04	8,298	01/23/2025	95	95
21	4104135	Residential	5299 Sipsey Way	Olive Branch	Southbranch	2024	4	3	0	2,443	\$412,990	\$412,990	\$169.05	0	04/03/2025	21	21
22	4104564	Residential	5297 Borden Creek Drive	Olive Branch	Southbranch	2025	5	3	0	2,443	\$417,990	\$417,990	\$171.1	10,000	05/30/2025	7	7
23	4105127	Residential	7538 Newbury Drive	Olive Branch	Southbranch	2025	5	3	0	2,445	\$424,990	\$433,125	\$177.15	15,000	07/30/2025	4	4
24	4096515	Residential	5321 Aylesbury Lane	Olive Branch	Southbranch	2024	5	3	0	2,445	\$422,000	\$429,800	\$175.79	10,000	04/17/2025	59	59
25	4080736	Residential	5302 Aylesbury Lane	Olive Branch	Southbranch	2024	5	3	0	2,446	\$419,995	\$419,995	\$171.71	14,146	01/17/2025	207	207
26	4107487	Residential	963 Buttermilk Drive	Nesbit	Stewartshire	2025	5	3	0	2,447	\$439,900	\$439,900	\$179.77	10,000	07/01/2025	57	57
27	4088648	Residential	4198 Brooke Drive	Nesbit	Bakersfield	2024	3	2	1	2,449	\$499,900	\$490,000	\$200.08	12,500	04/09/2025	213	213
28	4099307	Residential	14871 Fairview Road	Byhalia	Odom Fair View Road Minor Lot S/D	2024	4	3	1	2,450	\$580,000	\$540,000	\$220.41	0	04/02/2025	75	75
29	4116517	Residential	626 Wells Drive	Hernando	Cross Winds	2025	4	3	0	2,459	\$418,900	\$418,900	\$170.35	3,500	07/27/2025	34	34
30	4089248	Residential	7620 Crosswinds Boulevard	Hernando	Cross Winds	2024	4	3	0	2,459	\$418,900	\$418,900	\$170.35	10,500	06/05/2025	250	250
31	4116516	Residential	798 Wells Drive	Hernando	Cross Winds	2025	4	2	1	2,460	\$418,900	\$418,900	\$170.28	10,500	07/30/2025	20	20
32	4098015	Residential	566 Wells Drive	Hernando	Cross Winds	2024	3	2	1	2,460	\$418,900	\$418,900	\$170.28	12,567	02/27/2025	54	54
33	4107174	Residential	2326 May Boulevard	Southaven	Silo Square	2025	4	2	1	2,461	\$506,900	\$506,900	\$205.97	0	09/05/2025	206	206
34	4044214	Residential	2534 W Ac Freeman Drive	Hernando	Short Fork	2023	3	2	1	2,463	\$399,900	\$389,000	\$157.94	0	07/14/2025	819	819
35	4110785	Residential	2375 Scott Meadows Lane	Hernando	Scott Meadows	2025	4	3	0	2,468	\$432,400	\$432,400	\$175.2	10,863	10/24/2025	157	157
36	4110644	Residential	1419 Caroline Court	Hernando	Montclair	2025	4	3	0	2,470	\$419,900	\$419,900	\$170	10,000	09/15/2025	122	122
37	4126662	Residential	1444 Crk Hvn Drive	Hernando	Montclair	2025	4	3	0	2,470	\$424,900	\$424,900	\$172.02	10,000	10/31/2025	24	24
38	4081423	Residential	10263 March Meadows Way	Olive Branch	The Preserve at Cedar Bluff	2024	5	3	0	2,477	\$399,995	\$399,995	\$161.48	10,000	01/29/2025	213	213
39	4101857	Residential	7684 Crosswinds Boulevard	Hernando	Cross Winds	2025	4	3	0	2,479	\$420,900	\$420,900	\$169.79	12,627	09/26/2025	208	208
40	4086245	Residential	7663 Crosswinds Boulevard	Hernando	Cross Winds	2024	4	3	0	2,485	\$422,900	\$422,900	\$170.18	14,000	01/01/2025	140	140
41	4084981	Residential	1310 Creekside Lane	Hernando	Creekside Meadow	2024	4	3	0	2,489	\$423,500	\$423,900	\$170.31	12,717	02/04/2025	162	162
42	4100818	Residential	747 Wells Drive	Hernando	Crosswinds	2025	3	2	0	2,493	\$423,900	\$416,900	\$167.23	0	04/17/2025	59	59
43	4110815	Residential	875 Lucas Lane	Hernando	Cross Winds	2025	4	3	0	2,493	\$426,400	\$421,400	\$169.03	10,000	09/10/2025	37	37

#	MLS #	Prop Type	Address	City	Subdivision	Yr Blt	Beds	Full Bth	Half Bth	Approx H/C SqFt	List Price	Close Price	Close Price/SqFt	Concessions	Close Date	DOM	CDOM	
44	4094402	Residential	1214 Creekside Lane	Hernando	Creekside Meadow	2024	3	2	0	2,493	\$423,900	\$423,900	\$170.04	10,000	01/31/2025	8	8	
45	4098376	Residential	7524 Newbury Drive	Olive	Southbranch	2025	5	3	0	2,500	\$444,900	\$439,900	\$175.96	10,000	08/15/2025	66	66	
				Branch														
46	4113176	Residential	1805 Bakersfield Way	Nesbit	Bakersfield	2025	3	2	1	2,500	\$480,000	\$510,000	\$204	0	07/22/2025	51	51	
47	4087290	Residential	4108 Vineyard Drive	Southaven	Brambles	2024	5	3	0	2,502	\$412,000	\$405,000	\$161.87	0	07/07/2025	305	305	
48	4104540	Residential	3179 Honeysuckle Lane	Hernando	Jefferson Estates	2025	4	3	0	2,505	\$466,700	\$466,700	\$186.31	5,000	06/27/2025	0	0	
49	4101419	Residential	7673 Mary Mccoy Drive	Horn Lake	Bakers Acres	2025	4	3	0	2,508	\$368,800	\$368,800	\$147.05	2,711	09/19/2025	18	18	
50	4084965	Residential	7810 Mary Mccoy Drive	Horn Lake	Bakers Acres	2024	4	3	0	2,508	\$370,700	\$369,400	\$147.29	7,858	01/23/2025	94	94	
51	4103463	Residential	2075 Gracie Road	Hernando	Scott Meadows	2025	4	3	0	2,518	\$417,500	\$417,500	\$165.81	10,000	05/30/2025	0	0	
52	4100618	Residential	1276 Creekside Lane	Hernando	Creekside Meadow	2025	4	3	0	2,527	\$429,900	\$429,900	\$170.12	8,598	01/10/2025	0	0	
53	4102120	Residential	1192 Creekside Lane	Hernando	Creekside Meadow	2025	4	3	0	2,527	\$429,900	\$410,500	\$162.45	0	04/18/2025	69	69	
54	4115171	Residential	805 Wells Drive	Hernando	Crosswinds	2025	4	3	0	2,527	\$429,900	\$429,900	\$170.12	12,977	06/03/2025	0	0	
55	4116973	Residential	644 Wells Drive	Hernando	Cross Winds	2025	4	3	0	2,527	\$429,900	\$429,900	\$170.12	12,897	06/20/2025	0	0	
56	4129820	Residential	767 Wells Drive	Hernando	Cross Winds	2025	4	3	0	2,527	\$429,900	\$429,900	\$170.12	13,000	10/27/2025	0	0	
57	4097230	Residential	711 Wells Drive	Hernando	Cross Winds	2024	4	3	0	2,527	\$429,900	\$429,900	\$170.12	12,897	08/15/2025	223	223	
58	4085249	Residential	1292 Creekside Lane	Hernando	Creekside Meadow	2024	4	3	0	2,527	\$429,900	\$425,900	\$168.54	4,000	01/09/2025	156	156	
59	4084118	Residential	2100 Tulip Drive	Hernando	Baileigh Meadows	2024	4	3	0	2,529	\$351,990	\$351,990	\$139.18	0	01/20/2025	192	192	
60	4080909	Residential	5268 Sipsey Way	Olive	Southbranch	2024	4	3	0	2,529	\$425,990	\$415,990	\$164.49	10,000	02/10/2025	231	231	
				Branch														
61	4080913	Residential	5325 Sipsey Way	Olive	Southbranch	2024	4	3	0	2,529	\$424,990	\$409,990	\$162.12	10	03/04/2025	255	255	
				Branch														
62	4100833	Residential	1785 Bakersfield Way Drive	Nesbit	Bakersfield	2025	3	3	0	2,530	\$480,000	\$480,000	\$189.72	10,000	03/20/2025	42	42	
63	4118103	Residential	1206 Creekside Lane	Hernando	Creekside Meadow	2025	4	3	0	2,530	\$429,900	\$429,900	\$169.92	12,897	07/02/2025	0	0	
64	4093928	Residential	6557 Grand Oak Lane	Southaven	Silo Square	2024	3	3	0	2,541	\$470,900	\$470,900	\$185.32	10,000	02/25/2025	103	103	
65	4098754	Residential	5303 Aylesbury Lane	Olive	Southbranch	2025	5	3	0	2,555	\$439,990	\$453,070	\$177.33	10,470	06/26/2025	7	7	
				Branch														
66	4107854	Residential	7668 Newbury Drive	Olive	Southbranch	2025	5	3	0	2,555	\$444,990	\$444,990	\$174.16	10,000	08/29/2025	134	134	
				Branch														
67	4108401	Residential	5300 John Nielsen Way	Olive	Southbranch	2025	5	3	0	2,555	\$444,990	\$445,775	\$174.47	10,000	09/19/2025	7	7	
				Branch														
68	4099249	Residential	2268 Grand Oak Lane	Southaven	Silo Square	2024	3	3	0	2,572	\$476,900	\$486,900	\$189.31	10,000	05/06/2025	0	0	
69	4106098	Residential	2286 Grand Oak Lane	Southaven	Silo Square	2025	4	3	1	2,580	\$494,900	\$494,900	\$191.82	15,000	08/19/2025	136	136	
70	4100325	Residential	3426 E Clair Circle	Hernando	Montclair	2025	4	3	0	2,592	\$439,900	\$435,000	\$167.82	0	04/22/2025	87	87	
71	4108726	Residential	1339 S Clair Circle	Hernando	Montclair	2025	4	3	0	2,592	\$439,900	\$439,900	\$169.71	10,000	06/02/2025	31	31	
72	4106056	Residential	4426 Brooke Drive	Nesbit	Bakersfield	2025	4	3	0	2,599	\$449,900	\$439,125	\$168.96	0	07/18/2025	110	110	
73	4098036	Residential	2183 Hyacinth Lane	Hernando	Baileigh Meadows	2024	4	2	1	2,600	\$354,990	\$354,990	\$136.53	0	03/28/2025	65	444	
						<b>Avg</b>	4.14	2.78	0.12	2,482.01	\$428,831.1	\$427,847.19	\$172.43	8,423.67	108.04	113.23		
						<b>Min</b>	3	2	0	2,400	\$351,990	\$351,990	\$136.53	0	0	0	0	
						<b>Max</b>	5	3	1	2,600	\$580,000	\$540,000	\$220.41	16,516		819	819	
						<b>Med</b>	4	3	0	2,470	\$423,900	\$421,900	\$170.12	10,000		66	69	

Total # of Listings: 73

Property Type Count 73 Averages Sqft: 2,482 \$/Sqft: 172.43 DOM/CDOM: 108/113 Original List Price: 423,791 List Price: 428,831 Closing Price: 427,847

\* Price statistics for closed listings based on sold price. All other statuses and Totals based on current list price.

Information is deemed to be reliable, but is not guaranteed. © 2025 MLS and FBS. Prepared by Pamela L. Miller on Monday, November 03, 2025 3:54 PM.

Only houses in Olive Branch between 2400 - 2600 # were Southbranch Horton Homes. 13 houses closed

**Residential CMA**

Listings as of 11/03/25 at 3:56 PM

Property type Residential; Status of 'Closed'; Property Sub Type of 'Single Family Residence'; City of 'Olive Branch'; Approx H/C SqFt between 2400 and 2600; New Construction of 'Yes'; Closing Date between '01/01/2025' and '10/31/2025'.

**Closed Properties**

#	MLS #	Prop Type	Address	City	Subdivision	Yr	BitBeds	Full Bth	Half Bth	Approx H/C SqFt	List Price	Close Price	Close Price/SqFt	Close Concessions	Close Date	DOM	CDOM
1	4107619	Residential	5353 Borden Crk Drive	Olive Branch	Southbranch	2024	5	3	0	2,400	\$425,990	\$428,990	\$178.75	10,000	06/30/2025	0	0
2	4110586	Residential	5332 John Neilson Way	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,400	\$434,990	\$440,040	\$183.35	10,000	10/10/2025	0	0
3	4104135	Residential	5299 Sipsey Way	Olive Branch	Southbranch	2024	4	3	0	2,443	\$412,990	\$412,990	\$169.05	0	04/03/2025	21	21
4	4104564	Residential	5297 Borden Creek Drive	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,443	\$417,990	\$417,990	\$171.1	10,000	05/30/2025	7	7
5	4105127	Residential	7538 Newbury Drive	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,445	\$424,990	\$433,125	\$177.15	15,000	07/30/2025	4	4
6	4096515	Residential	5321 Aylesbury Lane	Olive Branch	Southbranch	2024	5	3	0	2,445	\$422,000	\$429,800	\$175.79	10,000	04/17/2025	59	59
7	4080736	Residential	5302 Aylesbury Lane	Olive Branch	Southbranch	2024	5	3	0	2,446	\$419,995	\$419,995	\$171.71	14,146	01/17/2025	207	207
8	4081423	Residential	10263 March Meadows Way	Olive Branch	The Preserve at Cedar Bluff	2024	5	3	0	2,477	\$399,995	\$399,995	\$161.48	10,000	01/29/2025	213	213
9	4098376	Residential	7524 Newbury Drive	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,500	\$444,900	\$439,900	\$175.96	10,000	08/15/2025	66	66
10	4080909	Residential	5268 Sipsey Way	Olive Branch	Southbranch	2024	4	3	0	2,529	\$425,990	\$415,990	\$164.49	10,000	02/10/2025	231	231
11	4080913	Residential	5325 Sipsey Way	Olive Branch	Southbranch	2024	4	3	0	2,529	\$424,990	\$409,990	\$162.12	10	03/04/2025	255	255
12	4098754	Residential	5303 Aylesbury Lane	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,555	\$439,990	\$453,070	\$177.33	10,470	06/26/2025	7	7
13	4107854	Residential	7668 Newbury Drive	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,555	\$444,990	\$444,990	\$174.16	10,000	08/29/2025	134	134
14	4108401	Residential	5300 John Nielsen Way	Olive Branch	Southbranch	<u>2025</u>	5	3	0	2,555	\$444,990	\$445,775	\$174.47	10,000	09/19/2025	7	7
<b>Total # of Listings: 14</b>						<b>Avg</b>	4.79	3	0	2,480.14	\$427,485	<u>\$428,045.71</u>	\$172.64	9,259		86.5	86.5
						<b>Min</b>	4	3	0	2,400	\$399,995	<u>\$399,995</u>	\$161.48	0		0	0
						<b>Max</b>	5	3	0	2,555	\$444,990	\$453,070	\$183.35	15,000		255	255
						<b>Med</b>	5	3	0	2,461.5	\$425,490	\$429,395	\$174.32	10,000		40	40

**Property Type Count** 14      **Averages**    **Sqft:** 2,480    **\$/Sqft:** 172.64    **DOM/CDOM:** 87/87    **Original List Price:** 397,518    **List Price:** 427,485    **Closing Price:** 428,046

\* Price statistics for closed listings based on sold price. All other statuses and Totals based on current list price.

Information is deemed to be reliable, but is not guaranteed. © 2025 MLS and FBS. Prepared by Pamela L Miller on Monday, November 03, 2025 3:56 PM.

*13*  
~~6~~ houses closed in 25 All in South branch - Horton  
~~6~~ houses closed in 24  
 Closing Price \$ 428,045

**Residential CMA**

Listings as of 11/03/25 at 3:55 PM

Property type Residential; Status of 'Closed'; Property Sub Type of 'Single Family Residence'; County of 'DeSoto'; Approx H/C SqFt between 2800 and 3000; New Construction of 'Yes'; Closing Date between '01/01/2025' and '10/31/2025'.

**Closed Properties**

#	MLS #	Prop Type	Address	City	Subdivision	Yr Bld	Beds	Full Bth	Half Bth	Approx H/C SqFt	List Price	Close Price	Close Price/SqFt	Close Concessions	Close Date	DOM	CDOM
1	4097705	Residential	6742 Bob White Circle	Southaven	Silo Square	2024	4	2	1	2,802	\$517,900	\$517,900	\$184.83	0	03/07/2025	1	1
2	4107740	Residential	4275 Brooke Drive	Nesbit	Bakersfield	2024	4	3	0	2,804	\$499,900	\$494,000	\$176.18	10,000	05/30/2025	31	31
3	4103330	Residential	4286 Piland Park Cove	Olive	Robinson Crossing	2023	4	3	0	2,810	\$459,000	\$435,000	\$154.8	5,000	03/25/2025	19	19
4	4111477	Residential	1748 Baisley Drive	Nesbit	Bakersfield	2025	4	3	0	2,814	\$499,900	\$494,900	\$175.87	10,000	10/30/2025	121	121
5	4098199	Residential	5019 Camp Crossing Crossing	Hernando	The Reserve	2024	4	3	0	2,832	\$522,900	\$510,000	\$180.08	6,500	04/21/2025	100	100
6	4098683	Residential	4238 Adriane Cove	Nesbit	Bakersfield	2024	5	4	0	2,839	\$515,000	\$515,900	\$181.72	0	06/27/2025	181	181
7	4098477	Residential	5331 Aylesbury Lane	Olive	Southbranch	2025	5	3	1	2,848	\$479,990	\$499,605	\$175.42	10,000	05/29/2025	4	4
8	4093912	Residential	3945 Winter Pointe Dr	Olive	The Neighborhood at Belle Pointe	2024	5	3	0	2,849	\$478,900	\$470,000	\$164.97	9,392	03/03/2025	112	112
9	4097724	Residential	3960 Winter Pointe Drive	Olive	The Neighborhood at Belle Pointe	2025	5	3	0	2,849	\$489,900	\$489,900	\$171.96	24,000	10/02/2025	189	189
10	4094924	Residential	1487 John Thomas Cove	Hernando	Chapel Grove	2024	4	3	0	2,850	\$539,900	\$539,900	\$189.44	10,000	05/15/2025	138	138
11	4093146	Residential	1845 Baisley Drive	Nesbit	Bakersfield	2024	5	2	1	2,860	\$498,750	\$502,500	\$175.7	15,000	03/18/2025	151	151
12	4085699	Residential	1555 Wilkerson Drive	Southaven	Lakes Of Nicholas	2025	5	3	0	2,860	\$498,500	\$498,500	\$174.3	11,500	04/30/2025	277	277
13	4115608	Residential	4277 S Bolivar Trail	Olive	Robinson Crossing	2025	5	3	1	2,862	\$515,900	\$515,000	\$179.94	10,000	07/24/2025	28	28
14	4098572	Residential	1511 John Thomas Cove	Hernando	Bakersfield	2025	4	3	0	2,865	\$530,000	\$530,000	\$184.99	0	03/06/2025	8	8
15	4111532	Residential	13596 Broadmore Lane	Olive	The Highlands at Forest Hill	2025	4	3	1	2,869	\$464,950	\$464,950	\$162.06	3	09/29/2025	120	120
16	4102304	Residential	8604 Steven Henry Drive	Hernando	Richmond Woods Estates	2025	5	3	0	2,880	\$558,500	\$550,000	\$190.97	16,000	04/30/2025	60	60
17	4096334	Residential	4816 Taylor Trail	Hernando	Treadway	2023	4	3	0	2,897	\$509,900	\$515,000	\$177.77	35,697	04/07/2025	99	99
18	4118748	Residential	1767 Caribe Drive Drive	Nesbit	Bakersfield	2025	4	3	1	2,900	\$524,900	\$524,900	\$181	16,000	10/03/2025	57	57
19	4096335	Residential	4782 Taylor Trail	Hernando	Treadway	2023	4	3	0	2,908	\$509,900	\$509,900	\$175.34	28,765	04/17/2025	131	131
20	4108351	Residential	3871 Wilkerson Drive	Southaven	Lakes Of Nicholas	2025	4	3	0	2,922	\$514,900	\$514,900	\$176.21	20,596	05/22/2025	22	22
21	4126276	Residential	14227 Hidden Loop	Byhalia	Hidden Grove	2025	4	3	0	2,922	\$509,900	\$509,900	\$174.5	15,000	10/23/2025	13	13
22	4103802	Residential	2226 Breanna Lane	Hernando	Estates of Grays Valley	2025	4	3	1	2,929	\$585,800	\$580,000	\$198.02	10,000	05/16/2025	50	50
23	4115629	Residential	1626 Ashtons Lane	Hernando	Chapel Grove	2025	4	4	0	2,944	\$529,900	\$529,900	\$179.99	9,450	09/04/2025	47	47
24	4100810	Residential	4224 Adriane Cove	Nesbit	Bakersfield	2025	4	2	0	2,950	\$539,900	\$529,000	\$179.32	11,000	03/07/2025	25	25
25	4111735	Residential	1740 Bakersfield Way	Nesbit	Bakersfield	2025	4	3	0	2,975	\$544,900	\$544,900	\$183.16	5,000	07/08/2025	40	40
						<b>Avg</b>	4.32	2.96	0.28	2,873.6	\$513,595.6	<del>\$511,458.2</del>	\$177.94	11,556.12	80.96	80.96	
						<b>Min</b>	4	2	0	2,802	\$459,000	\$435,000	\$154.8	0	1	1	
						<b>Max</b>	5	4	1	2,975	\$585,800	\$580,000	\$198.02	35,697	277	277	
						<b>Med</b>	4	3	0	2,862	\$514,900	\$514,900	\$177.77	10,000	57	57	
<b>Total # of Listings: 25</b>																	

**Property Type Count** 25      **Averages**      **Sqft:** 2,874      **\$/Sqft:** 177.94      **DOM/CDOM:** 81/81      **Original List Price:** 512,224      **List Price:** 513,596      **Closing Price:** 511,458

\* Price statistics for closed listings based on sold price. All other statuses and Totals based on current list price.

Information is deemed to be reliable, but is not guaranteed. © 2025 [MLS](#) and [FBS](#). Prepared by Pamela L Miller on Monday, November 03, 2025 3:55 PM.

*6 houses closed in Olive Branch this year over 2800 #  
2800 # ALL Average over 500,000 in DeSoto County*

**Residential CMA**

Listings as of 11/03/25 at 3:55 PM

Property type Residential; Status of 'Closed'; Property Sub Type of 'Single Family Residence'; City of 'Olive Branch'; Approx H/C SqFt between 2800 and 3000; New Construction of 'Yes'; Closing Date between '01/01/2025' and '10/31/2025'.

**Closed Properties**

#	MLS #	Prop Type	Address	City	Subdivision	Yr Bld	Beds	Full Bth	Half Bth	Approx H/C	SqFt	List Price	Close Price	Close Price/SqFt	Concessions	Close Date	DOM	CDOM
1	4103330	Residential	4286 Piland Park Cove	Olive Branch	Robinson Crossing	2023	4	3	0		2,810	\$459,000	\$435,000	\$154.8	5,000	03/25/2025	19	19
2	4098477	Residential	5331 Aylesbury Lane	Olive Branch	Southbranch	2025	5	3	1		2,848	\$479,990	\$499,605	\$175.42	10,000	05/29/2025	4	4
3	4093912	Residential	3945 Winter Pointe Dr	Olive Branch	The Neighborhood at Belle Pointe	2024	5	3	0		2,849	\$478,900	\$470,000	\$164.97	9,392	03/03/2025	112	112
4	4097724	Residential	3960 Winter Pointe Drive	Olive Branch	The Neighborhood at Belle Pointe	2025	5	3	0		2,849	\$489,900	\$489,900	\$171.96	24,000	10/02/2025	189	189
5	4115608	Residential	4277 S Bolivar Trail	Olive Branch	Robinson Crossing	2025	5	3	1		2,862	\$515,900	\$515,000	\$179.94	10,000	07/24/2025	28	28
6	4111532	Residential	13596 Broadmore Lane	Olive Branch	The Highlands at Forest Hill	2025	4	3	1		2,869	\$464,950	\$464,950	\$162.06	3	09/29/2025	120	120
						<b>Avg</b>	4.67	3	0.5		2,847.83	\$481,440	\$479,075.83	\$168.19	9,732.5		78.67	78.67
						<b>Min</b>	4	3	0		2,810	\$459,000	\$435,000	\$154.8	3		4	4
						<b>Max</b>	5	3	1		2,869	\$515,900	\$515,000	\$179.94	24,000		189	189
						<b>Med</b>	5	3	0.5		2,849	\$479,445	\$479,950	\$168.46	9,696		70	70
<b>Total # of Listings: 6</b>																		

**Property Type Count** 6      **Averages**    **Sqft:** 2,848    **\$/Sqft:** 168.19    **DOM/CDOM:** 79/79    **Original List Price:** 481,866    **List Price:** 481,440    **Closing Price:** 479,076

\* Price statistics for closed listings based on sold price. All other statuses and Totals based on current list price.  
 Information is deemed to be reliable, but is not guaranteed. © 2025 MLS and FBS. Prepared by Pamela L Miller on Monday, November 03, 2025 3:55 PM.

*Only 6 houses closed in Olive Branch so far thru October.*

**ORDER OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF OLIVE  
BRANCH, MISSISSIPPI GRANTING PRELIMINARY SUBDIVISION PLAT  
APPROVAL - ROSEWOOD SUBDIVISION - 7200 COLLEGE ROAD**

**WHEREAS**, Ben Smith, IPD, LLC, on behalf of the Property Owner, is requesting Preliminary Plat approval for Rosewood Subdivision, and

**WHEREAS**, the subject property is located on the east side of Craft Road and north of College Road, known as 7200 College Road, and situated in Section 8, Township 2 South, Range 6 West, and is currently zoned A-R, Agricultural-Residential District, and R-1, and

**WHEREAS**, the request is to create 118 Residential Lots and 4 COS from 82.37 +/-acres, and

**WHEREAS**, the subdivision as proposed will meet or exceed the development requirements established for the zoning district, and will comply with the requirements of the City's Subdivision Ordinance, and

**WHEREAS**, the Planning Commission reviewed the application at their December 10, 2024 meeting and voted unanimously to recommend to the Board of Aldermen conditional approval of the application, and

**WHEREAS**, the Mayor and Board of Aldermen are of the opinion that the Preliminary Plat for Rosewood Subdivision should be approved, subject to conditions.

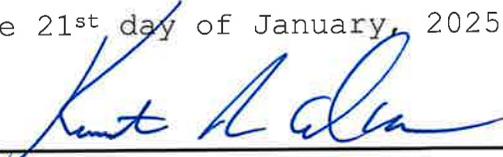
**NOW, THEREFORE, BE IT ORDERED** by the Mayor and Board of Aldermen of the City of Olive Branch, Mississippi as follows, to wit:

- A. The application of the owner of the property for Preliminary Plat approval of Rosewood Subdivision is hereby approved, conditioned upon the following, to wit:
1. Improvements to be the responsibility of the developer and not the responsibility of the City of Olive Branch.
  2. Grading, drainage, and civil construction plans to be approved by the City Engineer.

3. The developer shall install drainage pipe, erosion control material, sewer mains and service, water mains, fire hydrants, and service, sidewalks, curb and gutter for all streets, and gravel or soil cement base, and asphalt for all streets, with the thickness and layering to be determined by the City Engineer. A performance guarantee, in an amount set by the City Engineer, must be filed prior to recording the plat to insure the installation of all improvements prior to issuance of any building permit for any lot on the property. Design and installation of College Road frontage improvements required per City Engineer.
4. Traffic calming and sidewalk improvements are required as shown on the Preliminary Plat.
5. Plans for landscaping and entry feature / signage in common open space areas subject to review and approval of City Planning & Development Director, or designee.
6. For Final Plat submittal, the Declaration of Covenants Conditions & Restrictions will need to be submitted and customized for the Rosewood Subdivision. The Declaration language should include the intent to impose a 2800 heated sq. ft. minimum house size on lots in the R-1 zone and a 3000 heated sq. ft. minimum house size on lots in the A-R zone, minimum 70% brick content on all sides of buildings, and address the garage orientation by requiring side entry.
7. On Final Plat submittal, renumber and relabel the common open spaces as A-80, B-81, C-82, and D-83. Add plat note stating, "Common Open Space (COS) D-83 is dedicated to the Rosewood Subdivision Homeowners Association (HOA) for the purpose of stormwater detention and mailboxes. The HOA shall be responsible for maintenance."
8. On Final Plat submittal, add a plat note stating "COS A-80 is dedicated to the Rosewood Subdivision HOA for the purpose of landscape and entry features. The HOA shall be responsible for maintenance."

9. On Final Plat submittal, add a plat note stating "COS B-81 is dedicated to the Rosewood Subdivision HOA for the purpose of stormwater detention, landscape, entry features and mailboxes. The HOA shall be responsible for maintenance."
10. On Final Plat submittal, add a plat note stating "COS-82 is dedicated to the Rosewood Subdivision HOA for the purpose of a private park and recreation area. The HOA shall be responsible for maintenance."
11. On Final Plat submittal for future phases, follow same procedure noted about for all COS.
12. On Final Plat submittal for Phase 2 along the eastern boundary, remove the word "buffer" and note there is a 50' wide tree preservation easement along the rear of Lot Nos. 38-50 in favor of the Rosewood Subdivision HOA.
13. Streetlight plans to be submitted to the City Engineer for approval.
14. Street identification, traffic control signs and devices to be installed by the developer to City specifications.
15. All utilities and services (electric, telephone, cable, etc.) to be installed underground. The water service lines shall be installed with tracing wire at the top.

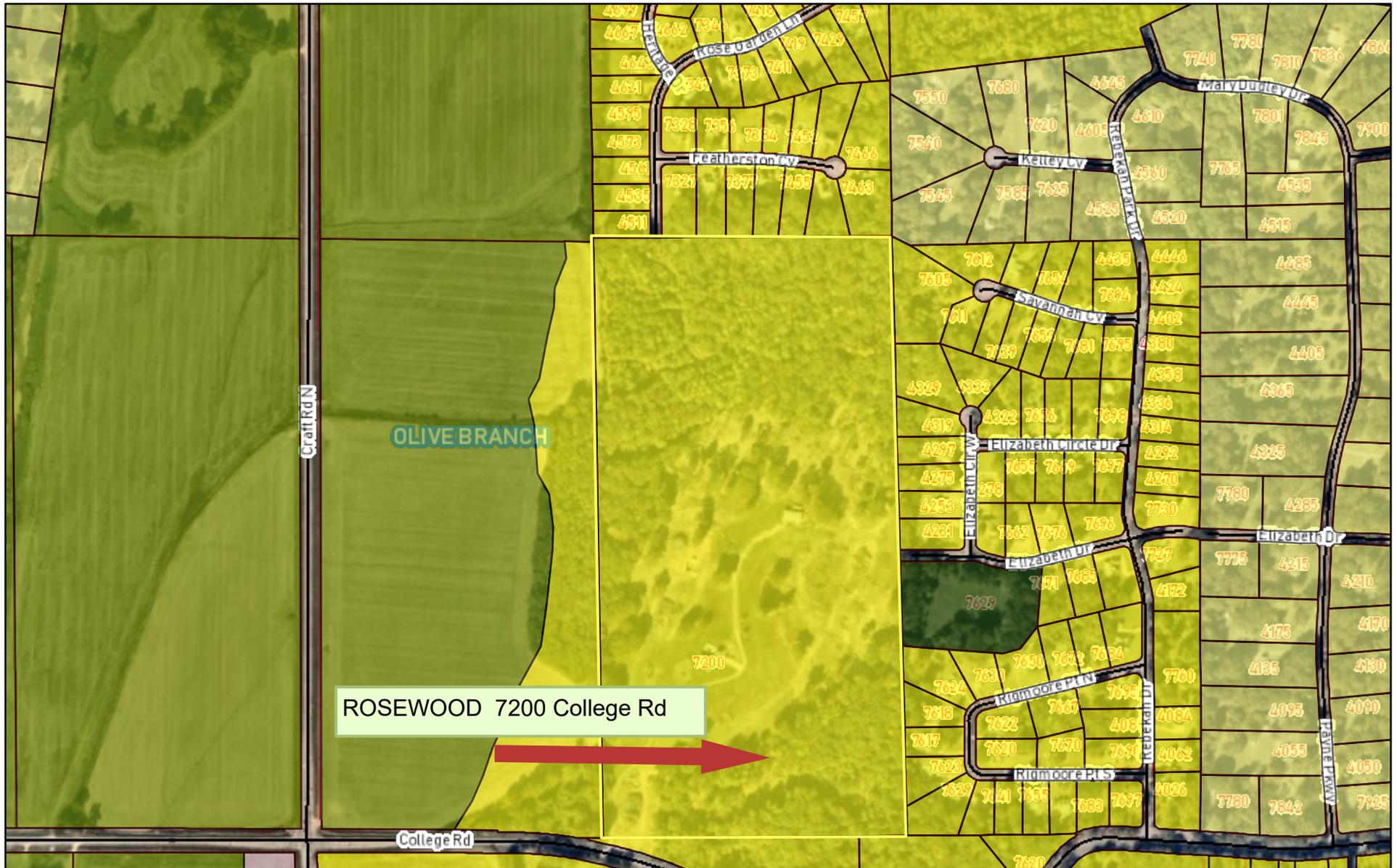
**ORDERED AND DONE**, this the 21<sup>st</sup> day of January, 2025.

  
\_\_\_\_\_  
**KENNETH R. ADAMS, MAYOR**

**ATTEST:**

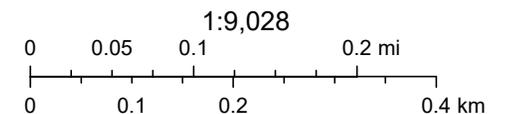
  
\_\_\_\_\_  
**TENA STEWART, CITY CLERK**

# EXHIBIT 4 FUTURE LAND USE MAP



11/24/2025, 2:54:26 PM

- |                                  |                           |                           |              |
|----------------------------------|---------------------------|---------------------------|--------------|
| OB FUTURE LAND USE               | PointAddresses            | PRELIMINARY 2025 LANDROLL | Private Road |
| NEIGHBORHOOD COMMERCIAL          | County Outline            | Roads                     | Ramp         |
| AGRICULTURAL / RURAL RESIDENTIAL | Municipalities            | Interstate                | IH           |
| RURAL ESTATE                     | Tax Parcels               | US Highway                |              |
| SUBURBAN NEIGHBORHOOD            | <all other values>        | State Highway             |              |
| GREENSPACE                       | PRELIMINARY 2024 LANDROLL | Local Road                |              |



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Olive Branch

Disclaimer: The City of Olive Branch, its employees, agents and personnel, MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR A PARTICULAR PURPOSE, OR ANY OTHER WARRANTY WHETHER EXPRESS OR

**REPORT TO THE PLANNING COMMISSION**

**CAPTION / SUBJECT:** Application for a Final Plat for Ansley Point Subdivision, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to create two residential lots totaling 0.82+/-acres. The subject property is zoned R-1, Single-Family Residential District. The property is located at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. (File # SD-25-0036).

- EXHIBITS:**
1. Final Plat
  2. Aerial Map
  3. Future Land Use Map
  4. Proposed Roadway Alignment

**EXECUTIVE SUMMARY:** The applicant, Andy Richardson, R&H Engineering, on behalf of Sunset Creek Farms, LLC, property owner submits for consideration the Final Plat for Ansley Point, a 2-lot subdivision of a vacant and un-platted 0.82± ac property located at the northeast corner of the intersection of Hamilton Cir N and Hamilton Cir W. The property is zoned R-2, Single-Family Residential, which requires that lots be at least 9,000 sf. Lot 1 and Lot 2 will be 20,248 sf and 15,594 sf respectively. The plat includes dedication of sufficient right-of-way for the extension of Hummingbird Dr to connect with Hamilton Cir N and Hamilton Circle W at a T-intersection in the future. Public utilities are available to service the proposed lots. The plat meets both zoning and subdivision regulation requirements, albeit with a waiver of sidewalks. Staff recommends approval subject to various conditions.



Fig. 1: Vicinity Parcels

NORTH

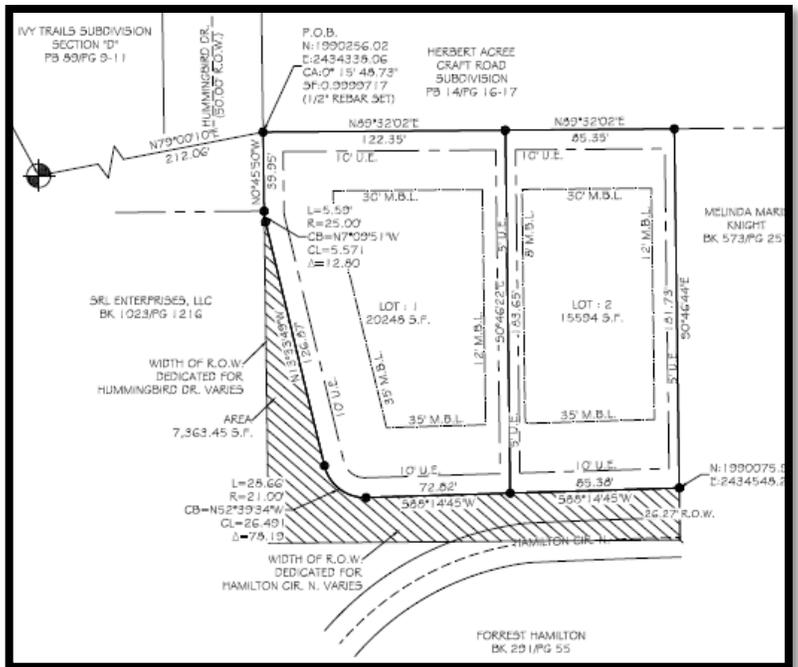


Fig. 2: Proposed Lot 1 and 2

**1. BACKGROUND:**

<b>General Information</b>																
Applicant	Andy Richardson, P.E; P.L.S. Engineer and Surveyor for Sunset Creek Farms, LLC (Property Owner)															
Applicant’s Status	Agent Representative of Property Owner															
Current Zoning of Property	R-1, Single-Family Residential (Rezoned 08/19/2025)															
Requested Action	Approve the Final Plat for the proposed 2-Lot, Ansley Point Subdivision															
Purpose	Create two lots from a single un-platted parcel															
Location	North of the intersection of Hamilton Cir W and Hamilton Cir N															
Size of Parent Parcel	± 0.82 acres															
Existing Land Use	Vacant															
Surrounding Zoning and Land Use	<table border="1"> <thead> <tr> <th><i>Direction</i></th> <th><i>Zoning</i></th> <th><i>Land Use</i></th> </tr> </thead> <tbody> <tr> <td>North</td> <td>R-1</td> <td>Vacant (Acree Farms Subdivision proposed)</td> </tr> <tr> <td>East</td> <td>AR</td> <td>Single Family Residential</td> </tr> <tr> <td>South</td> <td>R-3</td> <td>Single-Family Residential</td> </tr> <tr> <td>West</td> <td>AR</td> <td>Vacant</td> </tr> </tbody> </table>	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>	North	R-1	Vacant (Acree Farms Subdivision proposed)	East	AR	Single Family Residential	South	R-3	Single-Family Residential	West	AR	Vacant
	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>													
	North	R-1	Vacant (Acree Farms Subdivision proposed)													
	East	AR	Single Family Residential													
	South	R-3	Single-Family Residential													
West	AR	Vacant														
Future Land Use Designation	<p>Suburban Neighborhood</p> <p>Character: Suburban neighborhoods have lot sizes ranging from 6,000 sq. ft. to 30,000 sq. ft., with most in the 12,000 – 15,000 sq. ft. range. These subdivisions generally have urban roadway sections (curb, gutter and sidewalks). However, there are a number of older single-family subdivisions constructed before sidewalks were required and a number of newer planned developments that were permitted to develop with rural roadway sections (open swales, no curb or sidewalks).</p>															
Applicable Regulations	Zoning Ordinance, Subdivision Regulations, and other land use regulations of the City where applicable															

**2. ANALYSIS:**

**2.1. Zoning (R-1)**

Item	Zoning Requirement	Proposed Lots
Minimum Lot Size	12,500 sf min.	Lot 1: 20,248 sf      Lot 2: 15,594 sf
Front Setback	35 ft	Lots 1 and 2 will have a 35 ft front yard setback, which meets the required minimum
Side Setback	8 ft minimum	Lot 1: 12 ft      Lot 2: 8 ft and 12 ft
Rear Setback	30 ft	Lots 1 and 2 will have a 30 ft rear yard setback, which meets the required minimum
Minimum width at building setback line	85 ft	Lot 1 will have a minimum width at the building line of ±96.5 ft along Hamilton Cir N, which meets the required minimum Lot 1 will have a minimum width at the building line of ±187 ft along the proposed Hummingbird Dr, which meets the required minimum Lot 2 will have a minimum width at the building line of 85.38 ft along Hamilton Cir N, which meets the required minimum
Maximum Density	3.5 dwelling units per ac	Lot 1 and Lot 2 will have a density of 2.4 units per ac which meets the required minimum

**2.2. Utilities**

Utility lines are readily available in the area, with 12” and 3” water mains located in the Hamilton Circle right-of-way. A 2” gas main is also located within the Hamilton Circle right-of-way. There is also an 8” water main with a hydrant located to the northwest of the site within the Hummingbird Drive right-of-way. An 8” sewer line with manhole runs north/south along the west property line. An east/west 8” sewer line ties into the manhole along the north property line.



*Fig. 3: Area Utility Layout*

### **2.3. Transportation**

According to the Comprehensive Plan 2040, Hamilton Circle and Hummingbird Drive, if connected, would serve as an alternate minor route between Goodman Rd (Principal Arterial) and Bluebird Ln. (Major Collector). The proposed Lots 1 and 2 are midpoint between Craft Rd. and Davidson Rd., which are both north-south section line roads built on the one-mile grid system.

The applicant proposes to dedicate right-of-way for the future extension of Hummingbird Dr southward to Hamilton Cir N and Hamilton Cir W. The applicant, however, does not propose to be responsible for this extension.

The property owner also proposes to dedicate right-of-way on Hamilton Cir W, which will permit Hummingbird Dr, Hamilton Cir N, and Hamilton Cir W to intersect at a “T” in the future. Connecting Hummingbird Dr. and Hamilton Circle would create a north-south alternate to reach Goodman Rd. and Bluebird / Curbo Ln., which are east-west section line roads.

### **2.4. Bond**

No construction of major public infrastructure is required; hence, financial guarantee for infrastructure completion is not necessary before recordation of the plat.

### **2.5. Variances and Deviations**

The applicant does not request a variance or deviation from the standards of the Zoning Ordinance and/or Subdivision Regulations as may be applicable to the subject property. Staff does not find that a variance or deviation is necessary.

### **2.6. Waivers**

The requirement for sidewalks on the future east side of the proposed Hummingbird Dr extension and the future north side of the Hamilton Cir W extension is requested to be waived due to the rural street section of this portion of the roadway.

The applicant has requested a waiver of responsibility to extend Hummingbird Dr and to widen/straighten Hamilton Cir W in front of the property. However, the property owner does propose to dedicate right-of-way on Hamilton Cir W, which will permit Hummingbird Dr, Hamilton Cir N, and Hamilton Cir W to intersect at a “T” in the future.

## **3. NEXT STEPS**

Upon recommendation by the Planning Commission, the plat will be forwarded to the Board of Mayor and Aldermen for consideration. If approved by the Board, the plat would need to be recorded. Once the plat has been recorded, building permit(s) may be issued for proposed development(s) on the lots in accordance with the applicable City’s land development regulations.

**4. STAFF RECOMMENDATION**

Staff recommends approval of the Final Plat of Ansley Point Subdivision Lots 1 and 2, subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development on Lots 1 and 2 shall comply with the applicable requirements of the City's various land development regulations.
3. The requirement for the property owner to construct sidewalks along the Hamilton Cir W and along the future Hummingbird Dr extension is waived.
4. The property owner is required to dedicate right-of-way on Hummingbird Dr and Hamilton Cir W as shown on the plat, but not required to construct, extend, and/or re-align these roads.
5. At least 1 tree, which shall be 2½ - 3½ inches in caliper at time of planting, shall be planted in the street frontage of each lot before a house on the lot(s) may pass final inspection.
6. All stormwater improvements must be approved by the City Engineer and MDEQ.
7. The Final Plat must be recorded before a building permit may be issued.
8. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.

STAFF REPORT PREPARED BY: *Dee Jones* DATE: 12/2/2025

CHECKED FOR SUBMISSION TO THE COMMISSION BY: *Asong* DATE: 12/2/2025

MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE							
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

OWNER'S CERTIFICATE

I, \_\_\_\_\_, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE USE OF ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF OLIVE BRANCH, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
OWNER OR AUTHORIZED REPRESENTATIVE

NOTARY'S CERTIFICATE  
STATE OF MISSISSIPPI, COUNTY OF DESOTO

PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_, ACKNOWLEDGES THAT HE/SHE IS \_\_\_\_\_ OF \_\_\_\_\_, A MISSISSIPPI LIMITED LIABILITY COMPANY, AND THAT FOR AND ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE, FOR THE PURPOSES MENTIONED ON THE DAY AND YEAR HEREIN MENTIONED, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID BUSINESS CORPORATION SO TO DO.

\_\_\_\_\_  
NOTARY PUBLIC  
\_\_\_\_\_  
MY COMMISSION EXPIRES

MORTGAGEE'S CERTIFICATE

\_\_\_\_\_, MORTGAGEE OF THE PROPERTY HEREON, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE USE OF ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF OLIVE BRANCH, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM THE MORTGAGEE IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
TITLE  
\_\_\_\_\_  
SIGNATURE OF MORTGAGEE

NOTARY'S CERTIFICATE  
STATE OF MISSISSIPPI, COUNTY OF DESOTO

PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_, WHO ACKNOWLEDGED THAT HE/SHE IS \_\_\_\_\_ OF \_\_\_\_\_, AND THAT FOR AND ON BEHALF OF SAID BANK, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID BANK SO TO DO.

\_\_\_\_\_  
NOTARY PUBLIC  
\_\_\_\_\_  
MY COMMISSION EXPIRES

CERTIFICATE OF SURVEYOR

THIS IS TO CERTIFY THAT I HAVE DRAWN THIS PLAT FROM AN ACTUAL ON THE GROUND SURVEY BY AND FROM DEEDS OF RECORD AND THAT THE PLAT REPRESENTS THE INFORMATION AND THAT IT IS TRUE AND CORRECT.

\_\_\_\_\_  
ANDREW M RICHARDSON, P.E., P.L.S.



CITY OF OLIVE BRANCH  
PLANNING COMMISSION CERTIFICATE

APPROVED BY THE CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, PLANNING COMMISSION ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
CHAIRPERSON  
\_\_\_\_\_  
SECRETARY

CITY OF OLIVE BRANCH  
MAYOR & BOARD OF ALDERMEN

APPROVED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025. MINUTE BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

\_\_\_\_\_  
MAYOR  
\_\_\_\_\_  
CITY CLERK

CITY CLERK'S CERTIFICATE  
STATE OF MISSISSIPPI, COUNTY OF DESOTO

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_M, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_, AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

\_\_\_\_\_  
CITY CLERK

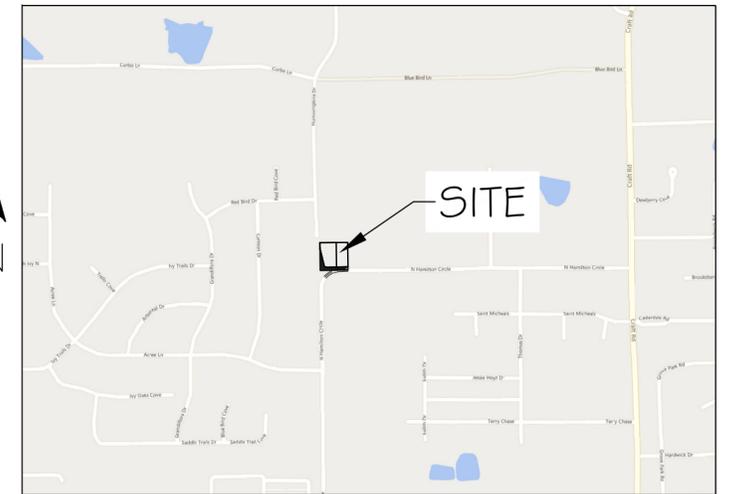
CHANCERY CLERK'S CERTIFICATE  
STATE OF MISSISSIPPI, COUNTY OF DESOTO

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_M, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_, AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

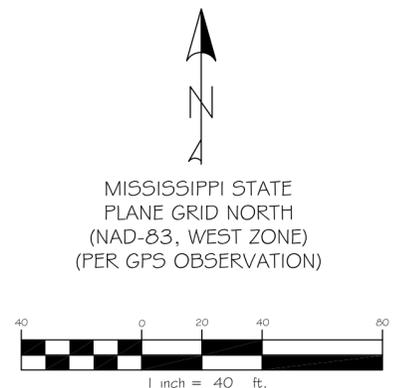
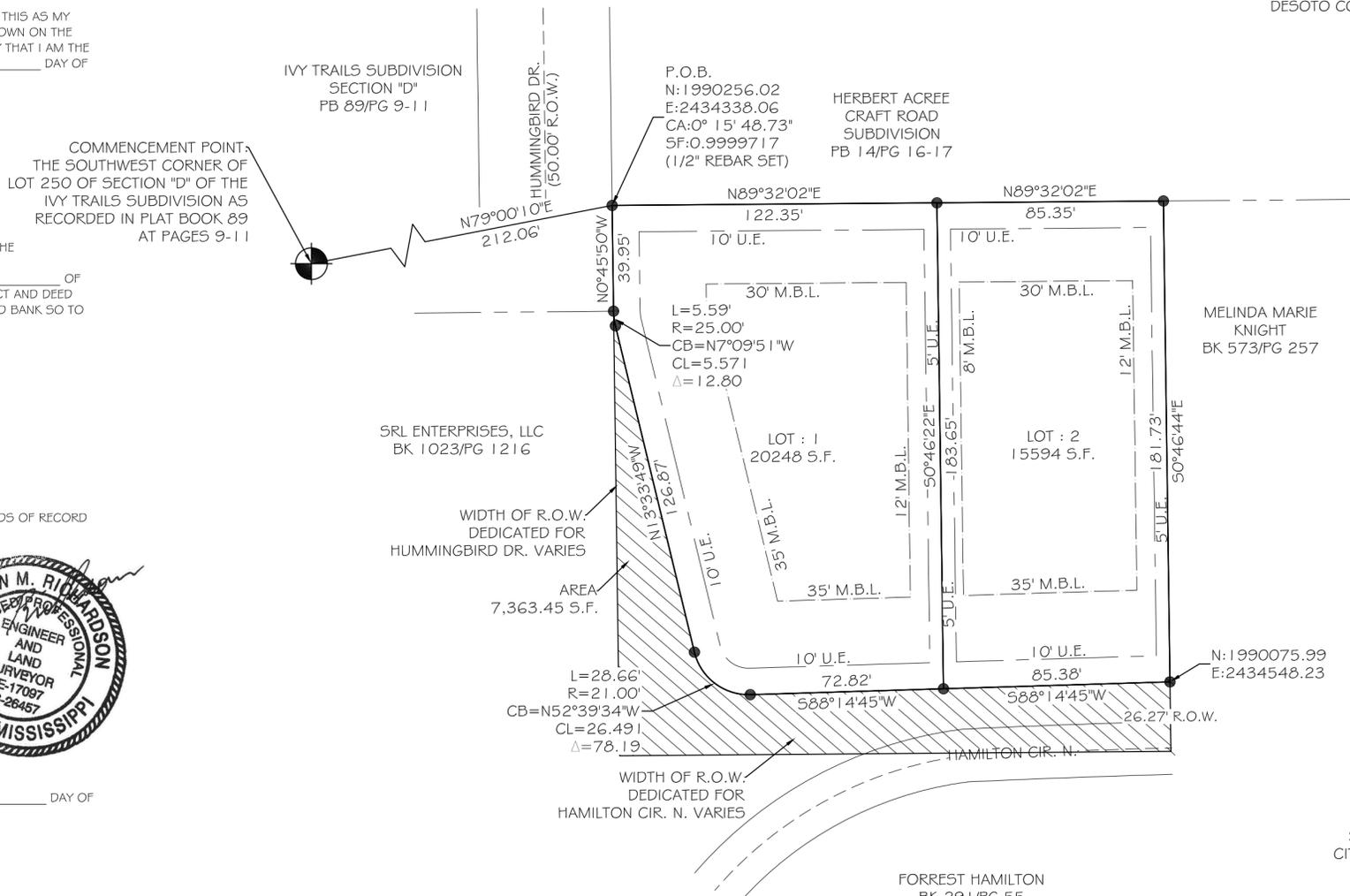
\_\_\_\_\_  
CHANCERY CLERK

GENERAL NOTES:

- MINIMUM SETBACKS FOR PROPOSED LOT ARE AS FOLLOWS:  
FRONT YARD: 35 FEET  
SIDE YARD: 8 FT. MINIMUM WITH SUM OF 20 FEET  
SIDE ROAD: 35 FEET  
REAR YARD: 30 FEET  
\*\*ACTUAL BUILDING SETBACKS SHALL BE AS REQUIRED IN THE APPLICABLE ZONING DISTRICT AND / OR ANY ASSOCIATED VARIANCES.
- A 10 FEET WIDE UTILITY AND DRAINAGE EASEMENT IS REQUIRED ON ALL STREET FRONTAGE AND ALONG THE REAR OF THE LOT. A 5 FEET WIDE UTILITY AND DRAINAGE EASEMENT IS REQUIRED ON EACH SIDE OF THE LOT.
- THIS PROPERTY IS NOT LOCATED IN A FEMA IDENTIFIED SPECIAL FLOOD HAZARD ACCORDING TO FIRM NO. 28033CO101H, EFFECTIVE MAY 5, 2014
- WATER AND SEWER SERVICES WILL BE PROVIDED BY THE CITY OF OLIVE BRANCH.
- 1/2 INCH IRON PINS ARE LOCATED AT EACH LOT CORNER UNLESS OTHERWISE NOTED DIFFERENTLY ON THE PLAT.
- ANY HOMES CONSTRUCTED ON THIS LOT OR ANY FUTURE RE-SUBDIVISION OF THIS LOT MUST MEET THE FOLLOWING REQUIREMENTS: A. HOMES SHALL HAVE AT LEAST 1,800 SQUARE FEET OF HEATED AREA AND BE 1.5 TO 2 STORIES. B. HOMES SHALL HAVE A MINIMUM TWO CAR GARAGE AND BE SIDE LOADED. C. ALL HOUSE ELEVATIONS SHALL BE CONSTRUCTED OF AT LEAST 75% MASONRY MATERIAL (BRICK AND / OR STONE).



SECTION 30, TOWNSHIP 1 SOUTH, RANGE 6 WEST,  
CITY OF OLIVE BRANCH  
DESOTO COUNTY, MISSISSIPPI



ANSLEY POINT  
SUBDIVISION  
FINAL PLAT

CLASS "B" SURVEY

SECTION 30, TOWNSHIP 1 SOUTH, RANGE 6 WEST;  
CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI

NOVEMBER 2025  
ZONING: R-1  
TOTAL AREA: 0.82 ACRES  
TOTAL LOTS: 2

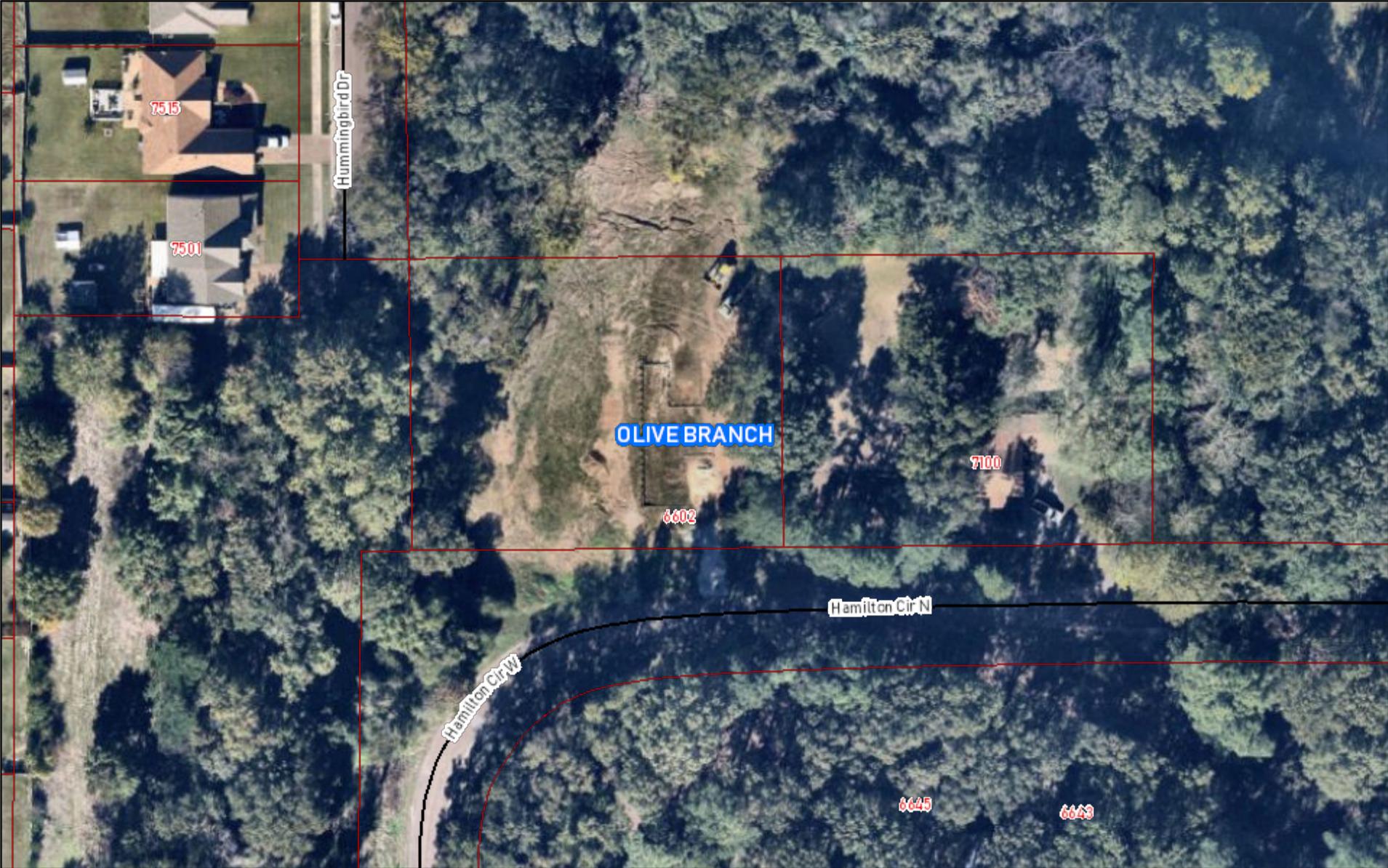
OWNER:  
SUNSET CREEK FARMS, LLC  
PO BOX 408  
SOUTHAVEN, MS 38671



ENGINEERING & SURVEYING, LLC

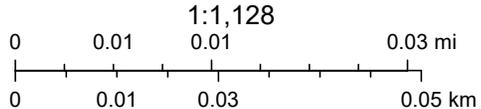
231 W. CENTER STREET  
HERNANDO, MS 38632  
PHONE: 901 605-1739  
901 494-1272

# Aerial Map



11/25/2025, 11:22:14 AM

PointAddresses	Tax Parcels	Roads	Local Road
County Outline	<all other values>	Interstate	Private Road
Municipalities	PRELIMINARY 2024 LANDROLL	US Highway	Ramp
	PRELIMINARY 2025 LANDROLL	State Highway	IH

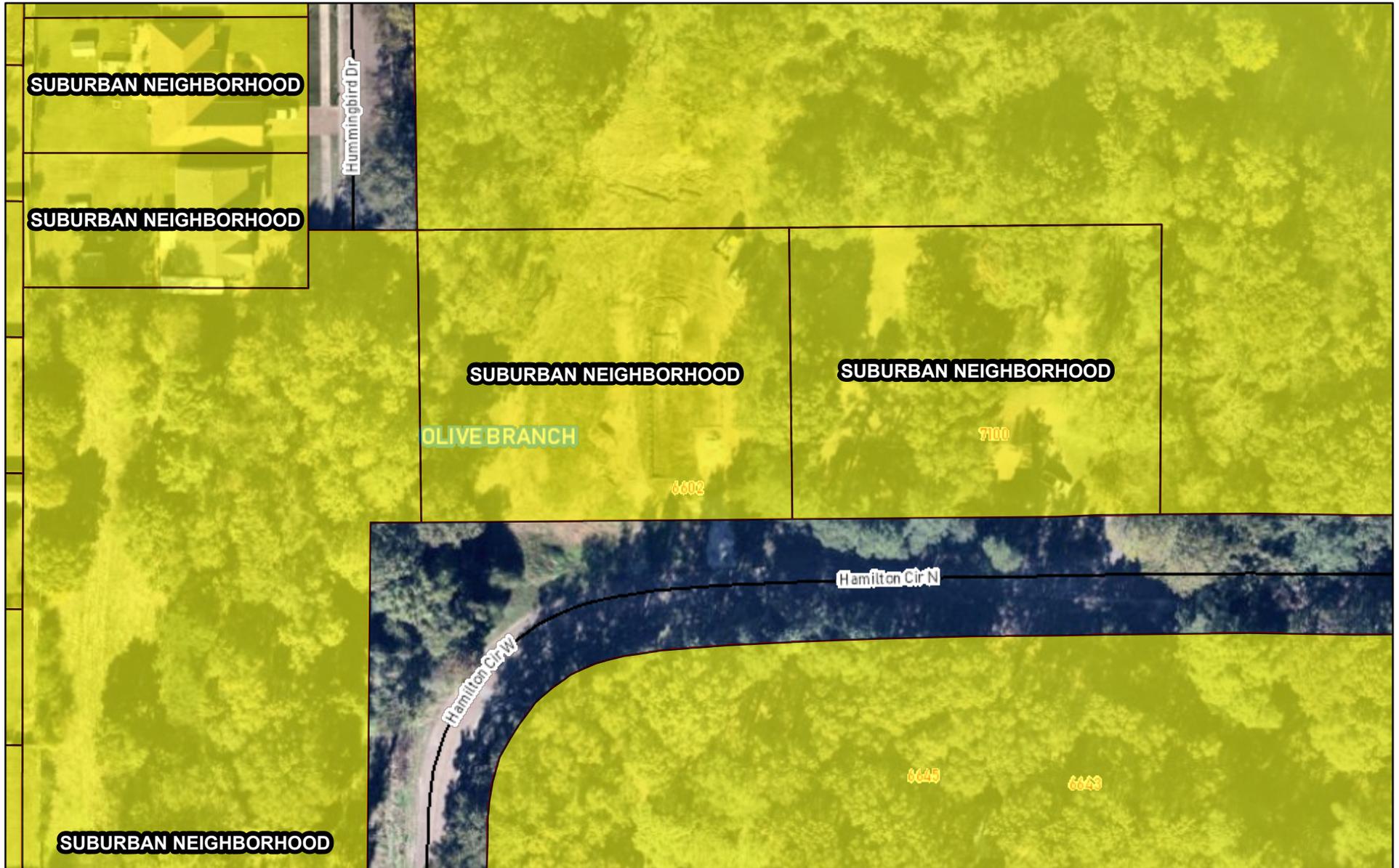


Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

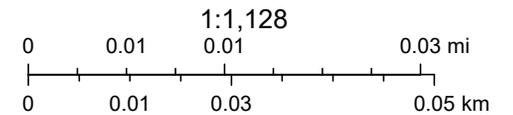
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# Future Land Use Map



11/25/2025, 11:28:47 AM

- |                          |                |                  |                    |                           |               |
|--------------------------|----------------|------------------|--------------------|---------------------------|---------------|
| OB FUTURE LAND USE       | FP             | Minor Collector  | PointAddresses     | PRELIMINARY 2024 LANDROLL | State Highway |
| SUBURBAN NEIGHBORHOOD    | MAP            | PAP              | County Outline     | PRELIMINARY 2025 LANDROLL | Local Road    |
| Thoroughfare Plan (2004) | MCP            | PC               | Municipalities     | Roads                     | Private Road  |
| CP                       | Major Arterial | Primary Arterial | Tax Parcels        | Interstate                | Ramp          |
| Collector                | Minor Arterial | SB               | <all other values> | US Highway                | IH            |



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

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DIVISION  
"D"  
9-1.1

HUMMINGBIRD DR.  
(50.00' R.O.W.)

HERBERT ACREE  
CRAFT ROAD  
SUBDIVISION  
PB 14/PG 16-17

MELINDA MARIE  
KNIGHT  
BK 573/PG 257

RL ENTERPRISES, LLC  
BK 1023/PG 1216

WIDTH OF R.O.W.  
DEDICATED FOR  
HUMMINGBIRD DR. VARIES

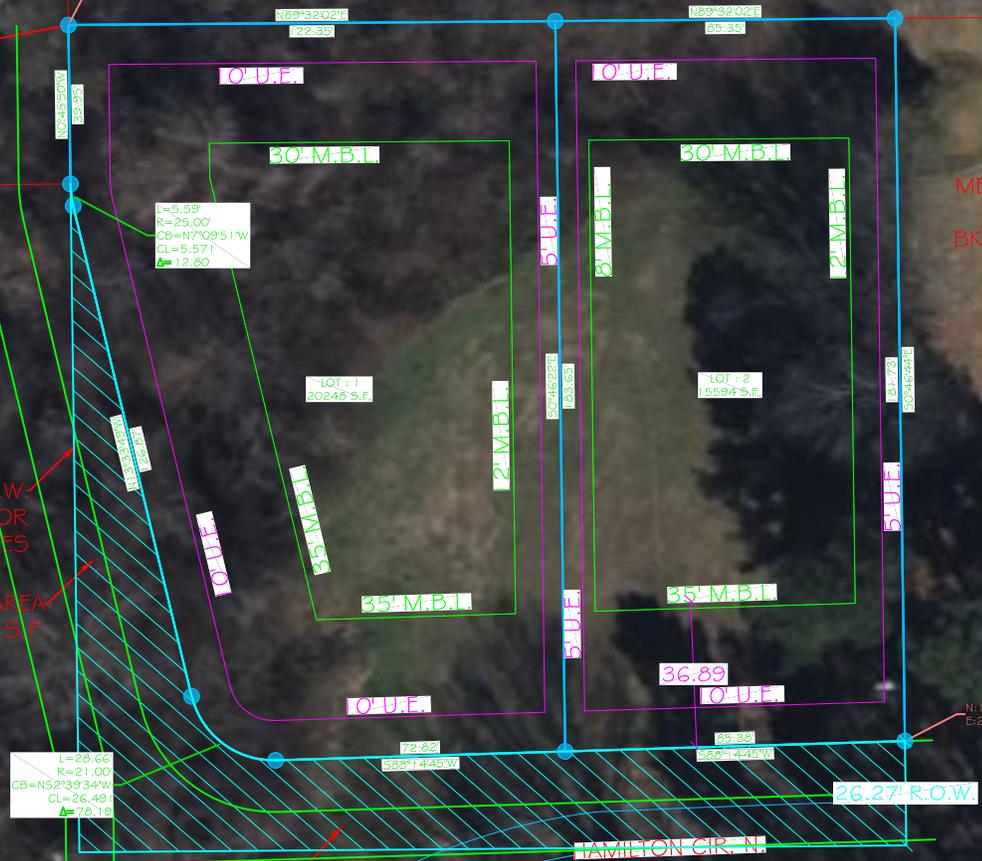
AREA  
7,363.45 S.F.

L=20.66  
R=21.00  
CB=N52°39'34"W  
CL=26.491  
A=78.18

L=5.59  
R=25.00  
CB=N7°09'51"W  
CL=5.571  
A=12.60

P.O.B.  
N=1890256.02  
E=2434338.06  
S=4.0719-48.73'  
S/F=0.9999747  
(1/2" REBAR SET)

N=1990075.99  
E=2434548.23



WIDTH OF R.O.W.  
DEDICATED FOR  
HAMILTON CIR. N. VARIES

FORREST HAMILTON  
BK 291/PG 55

REPORT TO THE PLANNING COMMISSION

**CAPTION / SUBJECT:** Application for a Final Plat for Malco Olive Branch Subdivision, Phase 3, submitted by Caleb Gill, Civil-Link, on behalf of property owner Mike Bailey. The request is to create a single commercial lot of 3.22+/-acres. The subject property is zoned C-4, Planned Commercial District, and is located at the south end of Grandiflora Drive, and north of Goodman Road. (File #SD-25-0038).

- EXHIBITS:**
- 1. Final Plat
  - 2. Aerial Map
  - 3. Future Land Use Map

**EXECUTIVE SUMMARY:** The applicant, Caleb Gill, Civil Link, on behalf of property owner Mike Bailey, submits for consideration a Final Plat for Malco Olive Branch Subdivision, Phase 3, Lot 4, being a ±3.22 ac 1-lot subdivision within a vacant and un-platted ±21.82 ac parent tract. The property is located immediately west of the adjacent Malco Olive Branch Cinema and south of the right-of-way terminus of Grandiflora Dr. There are existing public sewer and water lines to service the lot. Staff recommends approval with the extension of sidewalks and other conditions.



Fig. 1: Subject Property

**1. BACKGROUND:**

<b>General Information</b>			
Applicant	Caleb Brown, Civil Link for Mike Bailey (Property Owner)		
Applicant's Status	Agent Representative of Property Owner		
Current Zoning of Property	C-4, Planned Commercial District		
Requested Action	Approve the Final Plat for a proposed ±3.22 ac Lot 4, Malco Olive Branch Subdivision Phase 3		
Purpose	Create a commercial lot for a Planned Commercial Development		
Location	Approximately 600 ft north of Hwy 302 (Goodman Rd)		
Size of Parent Parcel	± 21.82 acres		
Existing Land Use	Vacant		
Surrounding Zoning and Land Use	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
	North	R-3	Single Family Residential
	East	C-4	Cinema
	South	C-4	Restaurant
	West	C-4	Vacant
Future Land Use Designation	<p>Commercial Corridor</p> <p>Character: Commercial corridors are developed with highway oriented commercial uses in a linear, or strip development pattern. Goodman Road (HWY 302) is the City's primary example of a commercial corridor with retail, restaurants, services, and office uses, but there are other corridors identified on the Future Land Use Map that incorporate commercial businesses with a heavier service orientation and an industrial orientation. These areas are designed for vehicular access; pedestrian facilities are either not available or very limited.</p>		
Applicable Regulations	Zoning Ordinance, Subdivision Regulations, and other land use regulations of the City where applicable		

2. ANALYSIS: The development standards for Malco West are set out below:

2.1. Zoning (Existing C-4 Planned Commercial District)

Item	Prop. Zoning Requirement	Proposed Lot
Minimum Lot Size	N/A	± 3.22 ac
Front Setback	50 ft min.	A front setback of 50 ft is required by the project text
Side Setback	20 ft min.	A side setback of 20 ft is required by the project text
Rear Setback	35 ft min.	A rear setback of 35 ft is required by the project text
Minimum width at building setback line	No Requirement	The proposed Lot 4 will have a minimum width at the building setback line of 250 ft as per the submitted plat
Maximum Density	N/A	N/A

2.2. Utilities

Utility lines are readily available in the area, with 8” water and gravity sewer lines located to the north in the Grandiflora Dr right-of-way (Ivy Trails Subdivision). An 8” gravity sewer main is located along the western property line of the parent tract. There is a 10” water main stub out with a hydrant located to the east of the site within the Malco Cinema parking lot. An 8” sewer line with manhole runs north/south along the west property line. A ±2.62 ac stormwater detention easement is located to the south along Goodman Rd.



Fig. 3: Area Utility Layout

### 2.3. Transportation

According to the Comprehensive Plan 2040, Goodman Rd serves as the principal arterial route running east-west further south of the proposed lot. The proposed Lot 4 is also located almost midpoint between Hamilton Circle W and Davidson Rd., which are both north-south section line roads built on the one-mile grid system.

There are existing sidewalks that run along both the north and east property lines of Lot 3. Sidewalks should be added and extended along the north and west side of the access easements for pedestrian connectivity and accessibility to the proposed lot.



### 2.4. Bond

No construction of major public infrastructure is required; hence, financial guarantee for infrastructure completion is not necessary before recordation of the plat.

### 2.5. Variances and Deviations

The applicant does not request a variance or deviation from the standards of the Zoning Ordinance and/or Subdivision Regulations as may be applicable to the subject property. Staff does not find that a variance or deviation is necessary.

### 2.6. Waivers

No waiver of required subdivision infrastructure improvement is applicable to this subdivision request.

## 3. NEXT STEPS

Upon recommendation by the Planning Commission, the plat will be forwarded to the Board of Mayor and Aldermen for consideration. If approved by the Board, the plat would need to be recorded. Once the plat has been recorded, building permit(s) may be issued for proposed development(s) on the lot in accordance with the applicable City's land development regulations.

**4. STAFF RECOMMENDATION**

Staff recommends approval of the Final Plat for Malco Olive Branch Subdivision, Phase 3 Lot 4, subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development on Lot 4 shall comply with the applicable requirements of the City's various land development regulations.
3. All stormwater improvements must be approved by the City Engineer and MDEQ.
4. The developer shall extend and/or construct sidewalks along the east and south property lines of the proposed Lot 4.
5. The Final Plat must be recorded before a building permit may be issued.
6. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.

---

STAFF REPORT PREPARED BY: *[Signature]* DATE: 12/1/2025  
 CHECKED FOR SUBMISSION TO THE COMMISSION BY: *[Signature]* DATE: 12/1/2025  
 MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

---

VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

**MORTGAGEE'S CERTIFICATE**

\_\_\_\_\_, MORTGAGEE OF THE PROPERTY HEREON, HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT OF WAY FOR THE ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT TO THE CITY OF OLIVE BRANCH, MISSISSIPPI FOR PUBLIC USE FOREVER. I CERTIFY THAT I AM THE MORTGAGEE IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

**NOTARY'S CERTIFICATE (CORPORATE/FINANCIAL INSTITUTION)**

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_, WHO ACKNOWLEDGED THE THEY ARE \_\_\_\_\_ OF \_\_\_\_\_, AND THAT FOR AND ON BEHALF OF THE SAID CORPORATION, AND AS ITS ACT AND DEED THE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID CORPORATION SO TO DO

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

**OWNERS CERTIFICATE**

I/WE, \_\_\_\_\_, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY/OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF OLIVE BRANCH, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

SIGNATURE OF OWNER

**NOTARY'S CERTIFICATE**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_, WHO ACKNOWLEDGED THAT THEY EXECUTED THE ABOVE AND FOREGOING CERTIFICATE FOR THE PURPOSE THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

**HOA DOCUMENTS RECORDING**

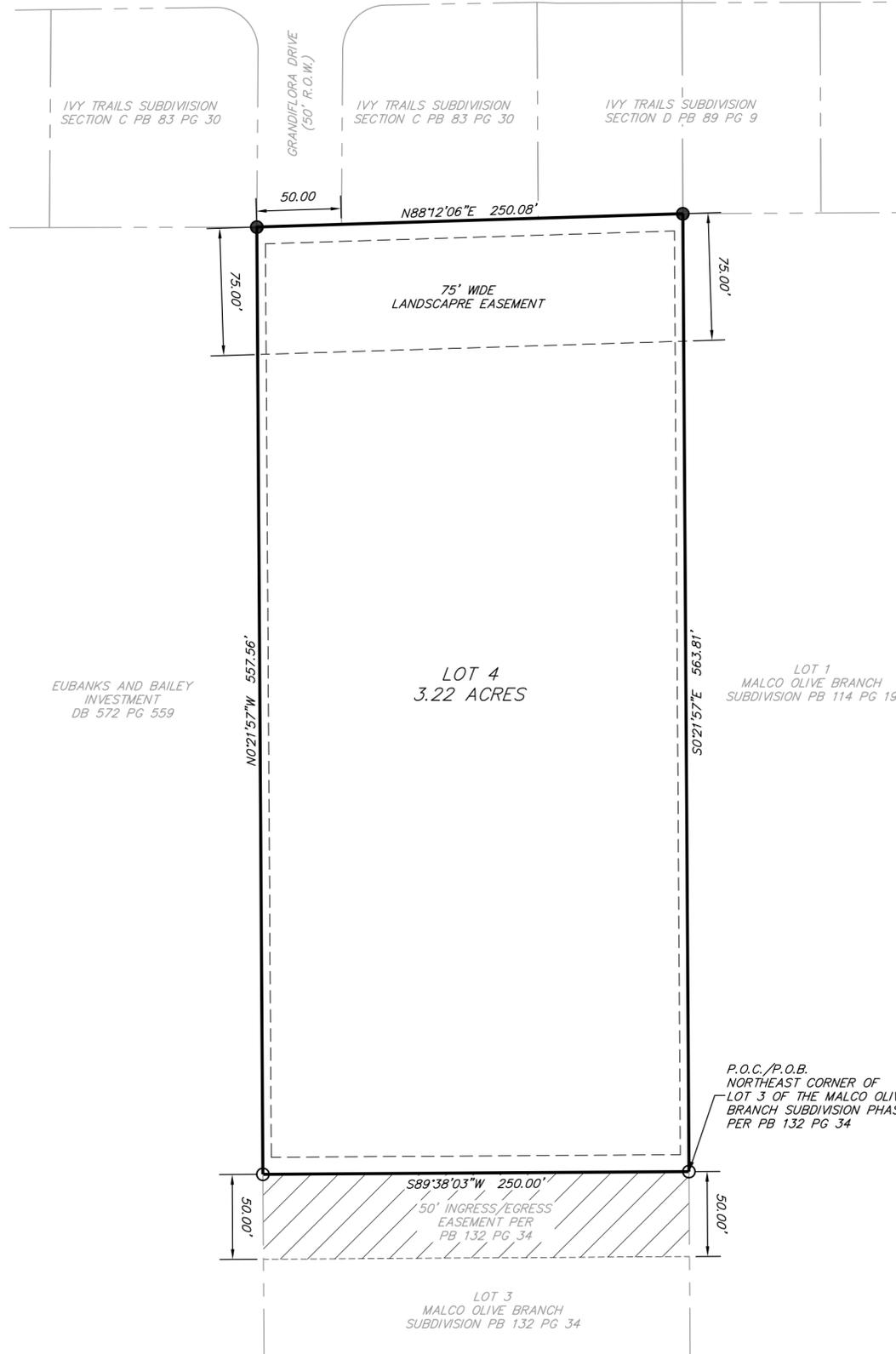
DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN WARRANTY DEED BOOK \_\_\_\_ PAGE \_\_\_\_ ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

**LEGEND**

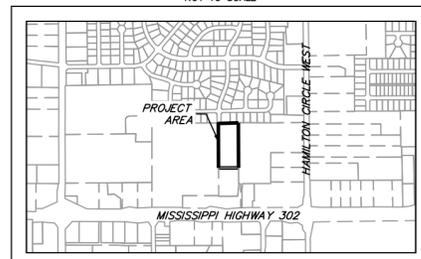
PROPERTY LINE	—————
BUILDING SETBACK LINE	- - - - -
FENCE	- x - x -
UTILITY EASEMENT	- - - - -
DRAINAGE EASEMENT	—————
CENTER LINE ROAD	—————
1/2" X 18" IRON ROD SET	●
MONUMENT FOUND	○

**ABBREVIATIONS**

P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
R.O.W.	= RIGHT OF WAY
S/D	= SUBDIVISION
IRF	= IRON ROD FOUND
APR	= AS PER RECORD
APS	= AS PER SURVEY
PB	= PLAT BOOK
PG	= PAGE
DB	= DEED BOOK
U.E.	= UTILITY EASEMENT
FF	= FINISH FLOOR ELEVATION
IRS	= IRON ROD SET



**VICINITY MAP**  
NOT TO SCALE



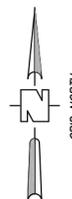
**GRAPHIC SCALE**



(IN FEET)

1" = 60'

BEARINGS REFERENCED TO THE MISSISSIPPI STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83, GEOID G2018U7 BY RTK GPS OBSERVATION SCALE FACTOR: 0.999971480317 CONVERGENCE ANGLE: 0° 15' 42.83424769"



**OLIVE BRANCH PLANNING COMMISSION**

APPROVED BY THE OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, PLANNING COMMISSION ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CHAIRPERSON

**OLIVE BRANCH MAYOR AND BOARD OF ALDERMAN**

APPROVED BY THE MAYOR AND BOARD OF ALDERMAN OF THE CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ MINUTE BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

MAYOR

CITY CLERK

**DESOTO COUNTY CHANCERY CLERK'S OFFICE**

STATE OF MISSISSIPPI  
COUNTY OF DESOTO

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEX AND DULY RECORDED IN PLAT BOOK \_\_\_\_ PAGE \_\_\_\_

CHANCERY COURT CLERK

**CERTIFICATE OF SURVEYOR**

THIS IS TO CERTIFY THAT I HAVE DRAWN THIS SUBDIVISION SHOWN HEREON AND THAT THE PLAT OF SAME IS ACCURATELY DRAWN FROM INFORMATION FROM A GROUND SURVEY BY MYSELF OR SOMEONE UNDER MY DIRECT SUPERVISION.

SIGNATURE OF SURVEYOR

DATE

**NOTES**

1. THE PROPOSED USE OF ALL THE LAND IN THE SUBDIVISION IS COMMERCIAL.
2. WATER SERVICE WILL BE PROVIDED BY THE CITY OF OLIVE BRANCH.
3. SEWER SERVICE WILL BE PROVIDED BY THE CITY OF OLIVE BRANCH.
4. MINIMUM BUILDING SETBACKS:  
35' FRONT YARD  
10' SIDE YARD  
20' REAR YARD
5. UTILITY EASEMENTS:  
10' FRONT YARD  
5' SIDE YARD  
10' REAR YARD
6. THIS PROPERTY IS NOT LOCATED IN FEMA IDENTIFIED SPECIAL FLOOD HAZARD AREA ACCORDING TO MAP NO. 28033C00B4G AND 28033C013G EFFECTIVE DATE JUNE 4, 2007
7. 1/2" x 18" IRON RODS WITH CIVIL-LINK CAP SET ON ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

**SURVEY DATA**

1. CLASS "B" SURVEY
2. FIELD SURVEY COMPLETED ON 03/15/2020
3. DRAWING COMPLETED ON 11/14/2025
4. REFERENCE MATERIALS:  
4.1. \_\_\_\_\_ DB \_\_\_\_ PG \_\_\_\_
5. NORTH REFERENCE  
5.1. BEARINGS REFERENCED TO THE MISSISSIPPI STATE PLANE COORDINATE SYSTEM, GRID WEST ZONE NAD83, GEOID G2018U7 BY RTK GPS OBSERVATION



5779 GETWELL RD., BLDG. B  
SOUTHAVEN, MS 38672  
OFFICE: 662-510-2169  
FAX: 662-510-2197  
WWW.CIVIL-LINK.COM

**FINAL PLAT  
MALCO OLIVE BRANCH  
SUBDIVISION PHASE 3**

DESOTO COUNTY, MISSISSIPPI  
November 14, 2025  
ZONING = C-4  
TOTAL AREA = \_\_\_\_ ACRES  
1 LOT  
S30 T1S R6W

CIVIL-LINK PROJECT NUMBER:  
SURVEYOR: CIVIL-LINK

DEVELOPER: EUBANKS AND BAILEY INVESTMENT

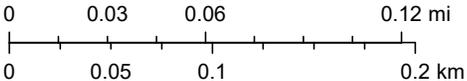
# Aerial Map



11/25/2025, 12:48:45 PM

1:4,514

PointAddresses	Tax Parcels	Roads	Local Road
County Outline	<all other values>	Interstate	Private Road
Municipalities	PRELIMINARY 2024 LANDROLL	US Highway	Ramp
	PRELIMINARY 2025 LANDROLL	State Highway	IH

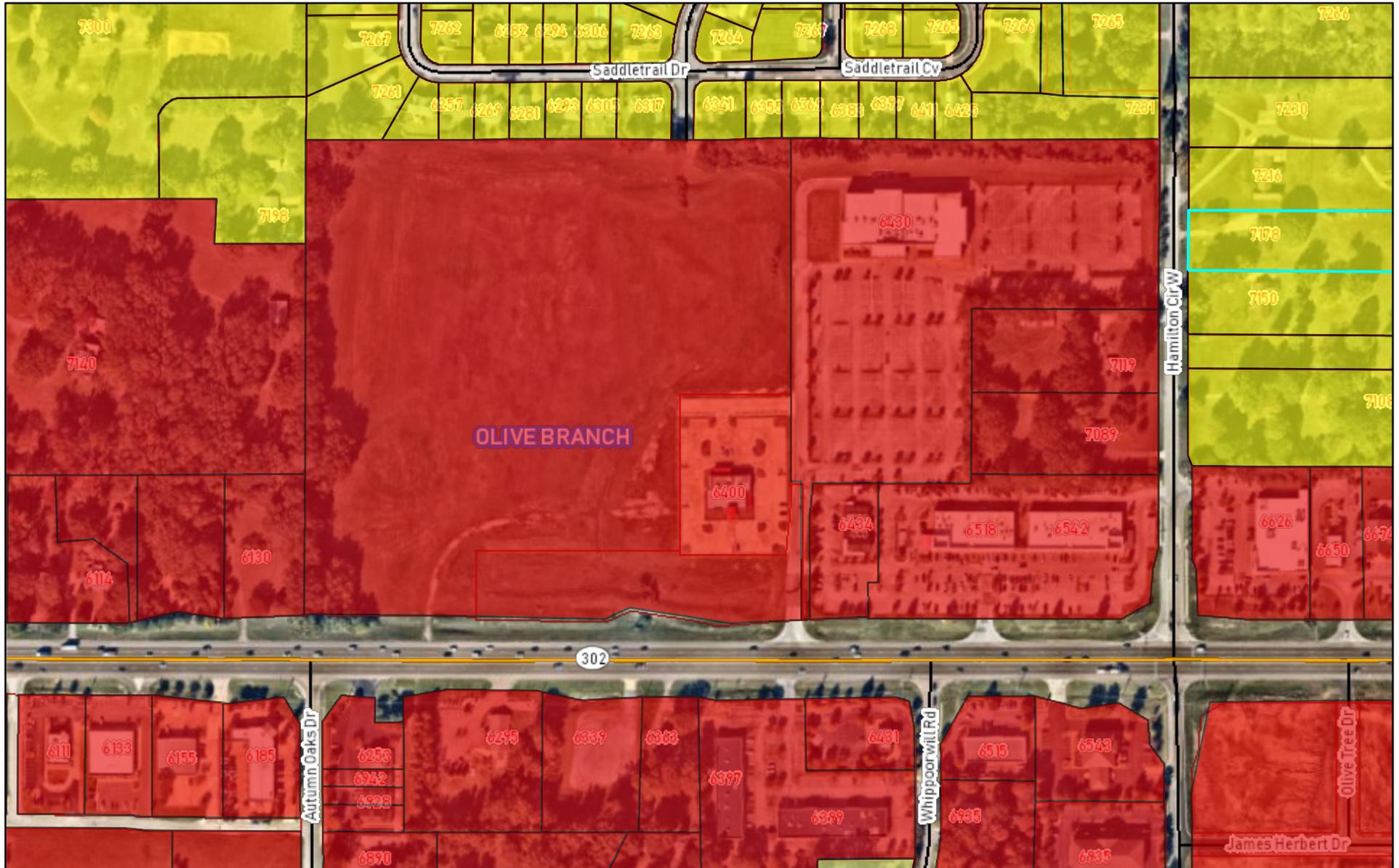


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City of Olive Branch

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# Future Land Use Map



11/25/2025, 12:50:22 PM

OB FUTURE LAND USE

RURAL ESTATE

SUBURBAN NEIGHBORHOOD

COMMERCIAL CORRIDOR

PointAddresses

County Outline

Municipalities

Tax Parcels

<all other values>

PRELIMINARY 2024 LANDROLL

PRELIMINARY 2025 LANDROLL

Roads

Interstate

US Highway

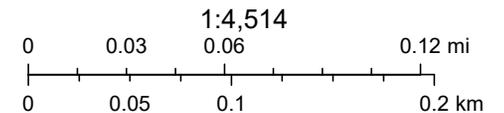
State Highway

Local Road

Private Road

Ramp

IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

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## REPORT TO THE PLANNING COMMISSION

**CAPTION/SUBJECT:** Application to Amend the Project Text for The Oaks at Parkview Heights PUD, submitted by David Baker, Fisher Arnold, Inc., on behalf of property owner, Trey Hart, Mainland MCA Olive Branch, LLC. The request is to change the permitted uses from Memory Care and Assisted Living Facility to detached Single Family Residential in Area 3B and to approve the associated preliminary development plan. The subject property is zoned PUD, Planned Unit Development. The 6.99+/-acre Area 3B is located on the west side of Parkview Blvd and south of Goodman Road, known as 6755 and 6785 Parkview Blvd. (File # PD-25-0002).

- EXHIBITS:**
1. Original Land Use Map (2007)
  2. Preliminary Development Plan
  3. Utility Plan
  4. Vicinity Zoning Map
  5. Housing Elevations
  6. Amended Project Text



**EXECUTIVE SUMMARY:**

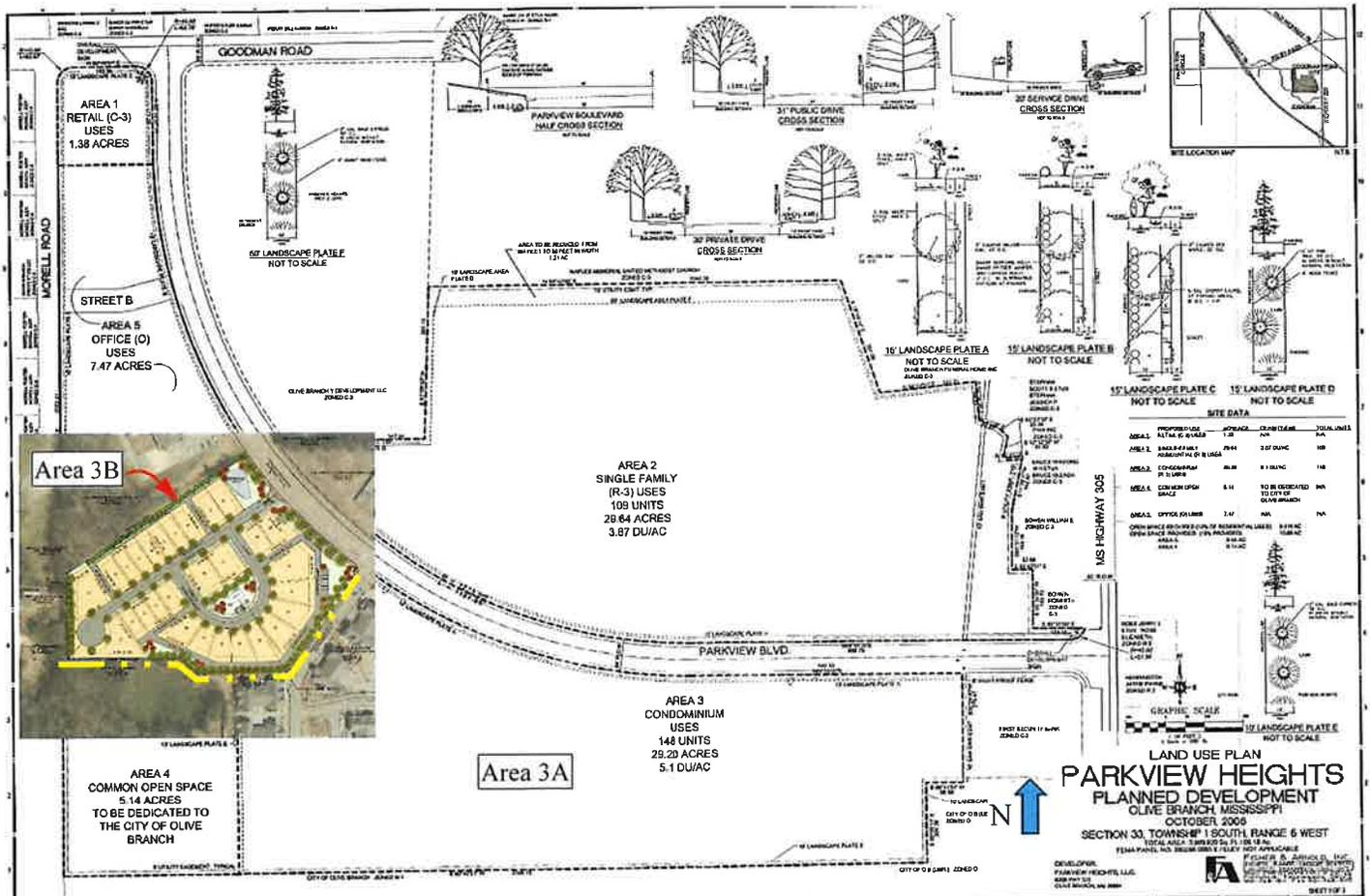
David Baker (Fisher Arnold, Inc.) on behalf of property owner, Trey Hart (Mainland MCA Olive Branch, LLC), requests amendment of the Parkview Heights Planned Unit Development (PUD). The portion of the PUD under consideration is Area 3B. This area is ±6.99 acres, and this amendment would change the allowed use in Area 3B from Memory Care and Assisted Living Facility to detached Single-Family Residential lots for a total of 28 dwellings. The gross residential unit density would be 4.0 dwelling units per acre (du/ac).

**BACKGROUND:**

The Parkview Heights Planned Development is a planned unit development originally approved in 2007. The original approval is a 68-acre mixed-use development containing retail, office, single-family residential, senior housing and residential condominium uses. (See Exhibit 1)

The original Parkview Heights Planned Development Land Use Plan shows 5 areas:

- Area 1 for retail uses
- Area 2 for single-family detached dwellings
- Area 3 for condominium uses (Area 3 has been subsequently divided into Areas 3A and 3B)
- Area 4 for common open space dedicated to the City of Olive Branch
- Area 5 for office uses



2007 PUD Land Use Plan with proposed Preliminary Development Plan Superimposed

Area 3B encompasses a ±6.99-acre site which is generally located on the southwest corner of the intersection of Parkview Blvd. and Parkview Oaks Cir, between Goodman Rd E and Hwy 305. The applicant has proposed a text amendment to allow 28 lots upon Area 3B with a centrally located Common Open Space containing an arbor and mail kiosk. *(see Exhibit 2)*

There has been no development upon Area 3B. However, in December of 2018, the permitted uses in this area were amended for development of a Memory Care and Assisted Living Facility. Other permitted uses included senior housing, nursing homes, customary accessory uses, and medical/dental/physical therapy offices permitted by right.

Existing utilities in the site vicinity include gas mains, water mains, and gravity sewer in the Parkview Blvd and Parkview Oaks Cir rights-of-way. There are also existing water mains (with hydrants) and gas lines that are located within the site that must be either removed or relocated by the applicant before construction commences. *(See Exhibit 3)*

Surrounding zoning districts are: R-3, Planned Residential (south, east, and north); C-3, General Commercial (west); and R-2, Single-Family Residential (southwest). *(see Exhibit 4)* Surrounding land uses are detached single-family residential, townhomes, funeral home, bed & breakfast, and park/open space.

Homes within the development are proposed to be two-story with a minimum total finished heated area of 1,800 sf. The developer also imposes a minimum heated floor area of 1,600 sf for the first floor for multi-story residences exclusive of porches and garages. *(See Exhibit 5)*

The City of Olive Branch Comprehensive Plan 2040 Goals, Objectives & Policies state in Policy 1.1.3 that “New residential growth will be primarily comprised of single-family homes, but the Future Land Use Plan recognizes the need for diversification of the City’s housing stock.” As such, the proposed text amendment to change the land use from Memory Care and Assisted Living Facility to detached Single-Family Residential with associated density is consistent with the original PUD housing provision intent and the Comprehensive Plan 2040.

**PUD TEXT AMENDMENT SUMMARY:**

Unlike conventional zoning, a PUD Project Text serves as a unique development code for a project by setting forth permissible uses, bulk regulations and other standards (e.g. architectural) to coincide with the PUD Master Plan. In the case of Parkview Heights, these standards are applied to the 4 different residential/office/retail areas of the overall project.

This PUD Project Text amendment proposes changes to Area 3B, intending to provide for development of single-family residential dwellings. These dwellings would have rear loaded garages which would be accessed from a private 18 ft alley. This community will have a Homeowners Association for ownership and maintenance of roads, alleys, landscape buffers, and common open spaces. Lot ownership would be limited to two (2) units as the developer intends to restrict in the Conditions, Covenants, and Restrictions.

Permitted uses shall be detached single-family residential, customary accessory uses, and public service facilities as permitted by right and as governed by the R-3, Planned Residential District in the Zoning Ordinance of the City of Olive Branch.

Minimum lot size as proposed in the Project Text amendment shall be 4,000 sf with a minimum building width of 40 ft.

Other bulk regulations as per the Project Text amendment are as follows:

- Street A: Front yard setback from any private drive shall be 10 ft along the west side of Street A and 15 ft along the southeast side of Street A.
- Street B: Front yard setback from private drives shall be 10 ft along both sides of Street B.
- Rear yard setback shall be 15 ft from the private alleys.
- Maximum building height shall be 35 ft.

The City Engineer shall approve the design and location of all curb cuts.

One curb cut shall be permitted along Parkview Blvd to access the site. This entry point will have a gated median electronic gate.

There would be no curb cuts or access to Parkview Oaks Cir. All internal private drives shall be constructed to meet the City of Olive Branch pavement design standards and shall be a minimum of 31 ft. Two off-street parking spaces shall be provided within an enclosed garage for each dwelling unit.

Landscape buffers and street plantings are proposed along the south property line, the north property line, along Parkview Oaks Cir, and along Parkview Blvd. The south and north buffers shall be 10 ft in width and planted with evergreen trees. The landscape plate along Parkview Oaks Cir shall be composed of a 10 ft landscape strip with evergreen hollies/junipers and 3 inch caliper willow oaks with a sidewalk. Along Parkview Blvd, the proposed landscape plate shall be composed of a 15 ft landscape area with willow oaks and a sidewalk.

Street trees (trident maples) shall be planted along internal streets/drives with pedestrian scale street lighting located between the trees.

**NEXT STEPS:** This application will move forward to the Board of Aldermen for a final decision on the text amendment. If the text amendment is approved, the next step in the development process would be for the applicant to file permits for construction.

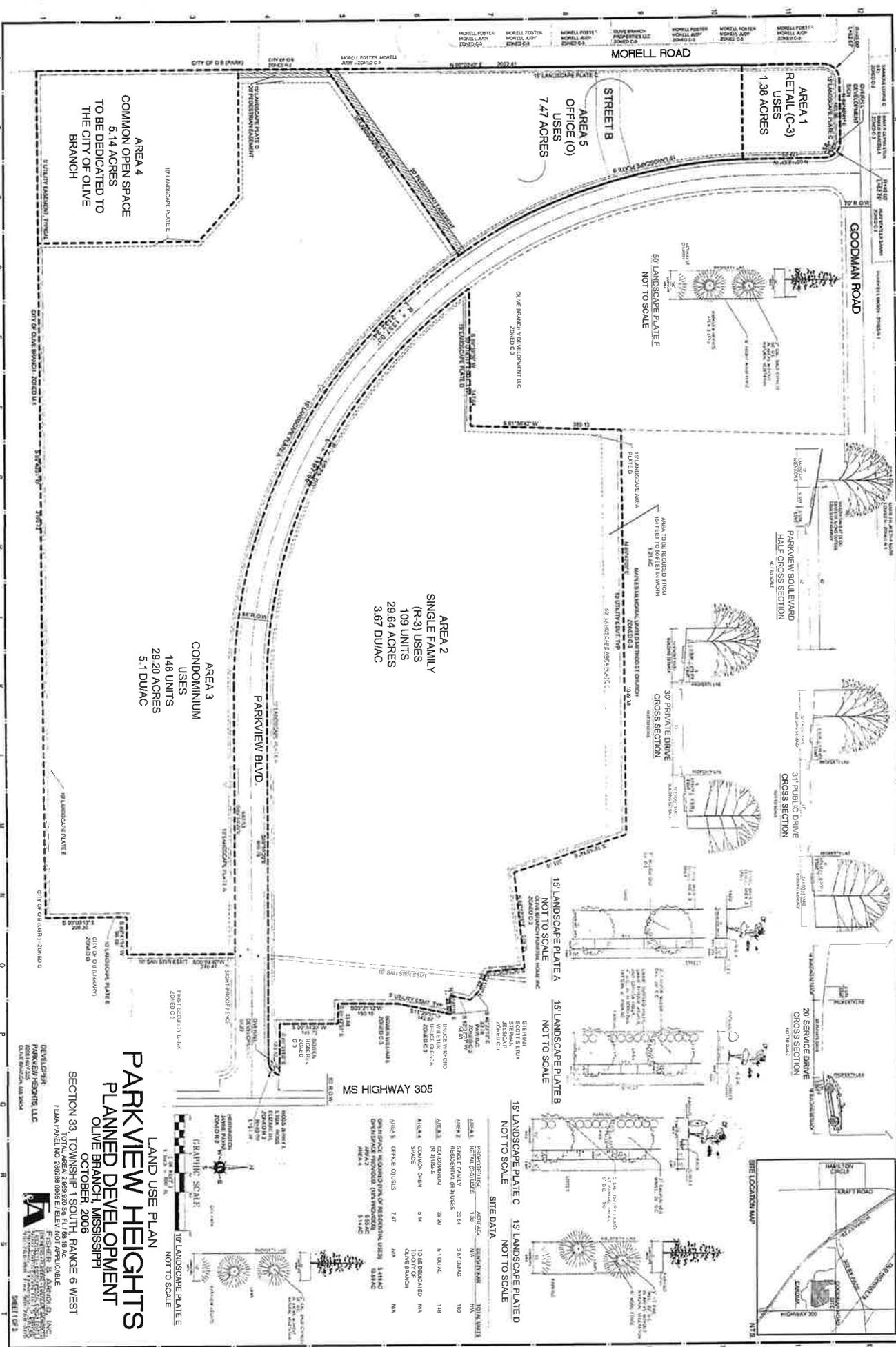
**RECOMMENDED MOTION:** Based on the finding that the amendment to the Project Text for Area 3B of The Oaks at Parkview Heights Planned Unit Development meets the original PUD intent to create residential use areas, does not adversely affect the character of the area, and conforms to Policy 1.1.3 of the City’s 2040 Comprehensive Plan by providing a diversity of housing types in the area; it is recommended by Staff that the Planning Commission recommend approval of the project text amendment with 28 lots upon Area 3B of the Oaks at Parkview Heights subject to the following conditions:

1. All lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development within Area 3B shall comply with the applicable requirements of the City’s various land development regulations.
3. All stormwater improvements must be approved by the City Engineer and MDEQ.

4. The developer shall extend and/or construct sidewalks along Parkview Blvd and Parkview Oaks Cir.
5. The Final Plat must be recorded before building permits may be issued.
6. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.
7. The Conditions, Covenants, and Restrictions of the Subdivision shall require that all houses be minimum 1½ stories.
8. Any other architectural housing elevations other than those provided in this project text shall be reviewed and approved by the Planning Commission.

STAFF REPORT PREPARED BY: *[Signature]* DATE: 12/4/2025  
 CHECKED FOR SUBMISSION TO THE COMMISSION BY *[Signature]* DATE: 12/4/2025  
 MOTION BY: \_\_\_\_\_ SECOND BY: \_\_\_\_\_

	DORR	JONES	REMAK	LEWIS	SENGER	SINGH	STRATTON
VOTE							
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____



**PARKVIEW HEIGHTS  
PLANNED DEVELOPMENT  
OLIVE BRANCH, MISSISSIPPI  
OCTOBER, 2006**

SECTION 39, TOWNSHIP 1 SOUTH, RANGE 6 WEST  
FEMA PANEL NO. 28088 7005 E. RELEV. NOT APPLICABLE

DEVELOPER: PARKVIEW HEIGHTS, LLC  
DESIGNER: FISHER & ARNDT, INC.  
DATE: OCTOBER 2006

**LAND USE PLAN**

**GRAPHIC SCALE**  
1" = 10' LANDSCAPE PLATE E  
NOT TO SCALE

AREA	DESCRIPTION	ACRES	DUPLICATED	TOTAL ACRES	UNITS	DUPLICATED	TOTAL UNITS
AREA 1	RETAIL (C-3)	1.38	NA	1.38	NA	NA	NA
AREA 2	SINGLE FAMILY (R-3)	29.64	NA	29.64	109	NA	109
AREA 3	CONDOMINIUM	29.20	NA	29.20	148	NA	148
AREA 4	COMMON OPEN SPACE	5.14	NA	5.14	NA	NA	NA
AREA 5	OFFICE (O)	7.47	NA	7.47	NA	NA </tr	

**NET GROSS AREA: 71.83 ACRES**

**NET GROSS AREA: 143,660 SQ. FT.**

**NET GROSS AREA: 1,680,000 SQ. FT.**





**PRELIMINARY  
DEVELOPMENT PLAN  
PARKVIEW HEIGHTS  
PLANNED DEVELOPMENT**

**PHASE 2 AREA 3B  
OLIVE BRANCH, MISSISSIPPI  
NOVEMBER, 2025**

TOTAL AREA: 303,387 Sq. Ft. / 6.99 Ac.  
FEMA PANEL NO. 28033C0104H / ELEV. N/A

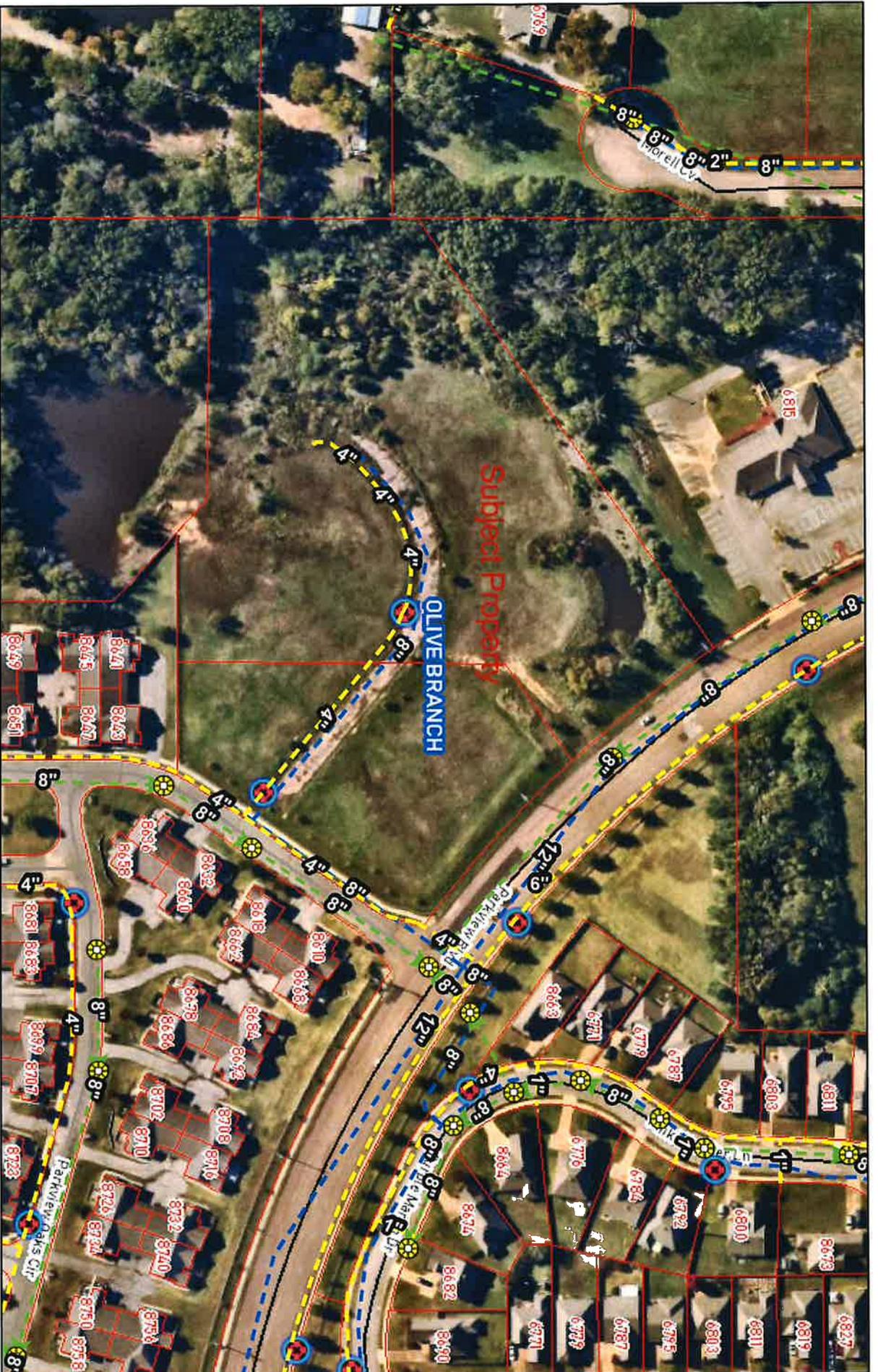
PREPARED FOR:  
**RUSSELL CONTRACTING, LLC**  
1000 W. WOODLAND BLVD.  
COLUMBIA, MS 39209

**FISHER ARNOLD**  
ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS  
9700 Canton Rd. Olive Branch, Mississippi 38925-6422  
601.907.2222 | www.fishern.com

SHEET 2 OF 3

NOTE:  
BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM OTHERS

# Existing Utilities



12/2/2025, 1:06:48 PM

GAS MAIN LINES

Not Field Verified

HYDRANTS

County Outline

PRELIMINARY 2025 LANDROLL

Local Road

0 0.01 0.03 0.05 0.1 km

1:2.257

0.06 mi

SEWER MANHOLE

WATER MAINS

Municipalities

Interstate

Private Road

0.03 0.05 0.1 km

0.06 mi

0.1 km

SEWER GRANTY MAIN

NOT FIELD VERIFIED

Tax Parcels

US Highway

Ramp

0.03 0.05 0.1 km

0.06 mi

0.1 km

NOT FIELD VERIFIED

PointAddresses

<all other values>

State Highway

IH

0.03 0.05 0.1 km

0.06 mi

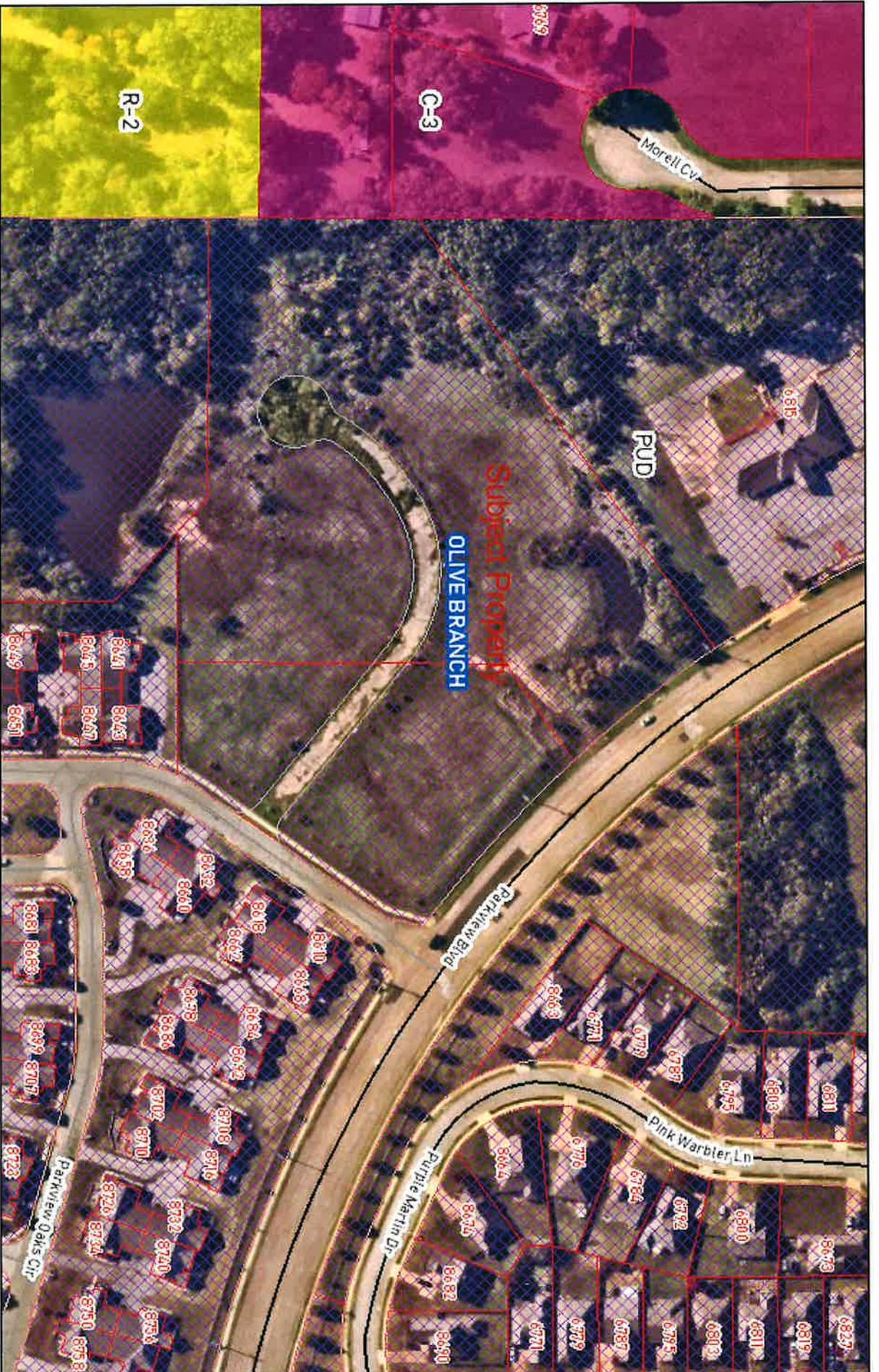
0.1 km

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City of Olive Branch

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# Existing Zoning



12/2/2025, 1:13:57 PM

- |               |             |             |             |            |                           |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |              |               |              |              |              |              |              |              |              |              |              |
|---------------|-------------|-------------|-------------|------------|---------------------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|---------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|
| <b>Zoning</b> | C-4         | M-3         | PUD OVERLAY | R-1        | MAIN STREET DISTRICT      | R-12 OVERLAY | R-15 OVERLAY | R-18 OVERLAY | R-20 OVERLAY | R-22 OVERLAY | R-24 OVERLAY | R-26 OVERLAY | R-28 OVERLAY | R-30 OVERLAY | R-32 OVERLAY | R-34 OVERLAY | R-36 OVERLAY | R-38 OVERLAY | R-40 OVERLAY | R-42 OVERLAY | R-44 OVERLAY | R-46 OVERLAY | R-48 OVERLAY | R-50 OVERLAY | R-52 OVERLAY | R-54 OVERLAY | R-56 OVERLAY | R-58 OVERLAY | R-60 OVERLAY | R-62 OVERLAY | R-64 OVERLAY | R-66 OVERLAY | R-68 OVERLAY | R-70 OVERLAY | R-72 OVERLAY | R-74 OVERLAY | R-76 OVERLAY | R-78 OVERLAY | R-80 OVERLAY | R-82 OVERLAY | R-84 OVERLAY | R-86 OVERLAY | R-88 OVERLAY | R-90 OVERLAY | R-92 OVERLAY | R-94 OVERLAY | R-96 OVERLAY | R-98 OVERLAY | R-100 OVERLAY |              |              |              |              |              |              |              |              |              |
|               | A-R         | C-5         | CM OVERLAY  | ER         | HISTORIC DISTRICT OVERLAY | M-1          | M-2          | PUD          | P-1          | P-2          | P-3          | P-4          | P-5          | P-6          | P-7          | P-8          | P-9          | P-10         | P-11         | P-12         | P-13         | P-14         | P-15         | P-16         | P-17         | P-18         | P-19         | P-20         | P-21         | P-22         | P-23         | P-24         | P-25         | P-26         | P-27         | P-28         | P-29         | P-30         | P-31         | P-32         | P-33         | P-34         | P-35         | P-36         | P-37         | P-38         | P-39         | P-40         | P-41          | P-42         | P-43         | P-44         | P-45         | P-46         | P-47         | P-48         | P-49         | P-50         |
|               | A-R OVERLAY | C-5 OVERLAY | CM OVERLAY  | ER OVERLAY | HISTORIC DISTRICT OVERLAY | M-1 OVERLAY  | M-2 OVERLAY  | PUD OVERLAY  | P-1 OVERLAY  | P-2 OVERLAY  | P-3 OVERLAY  | P-4 OVERLAY  | P-5 OVERLAY  | P-6 OVERLAY  | P-7 OVERLAY  | P-8 OVERLAY  | P-9 OVERLAY  | P-10 OVERLAY | P-11 OVERLAY | P-12 OVERLAY | P-13 OVERLAY | P-14 OVERLAY | P-15 OVERLAY | P-16 OVERLAY | P-17 OVERLAY | P-18 OVERLAY | P-19 OVERLAY | P-20 OVERLAY | P-21 OVERLAY | P-22 OVERLAY | P-23 OVERLAY | P-24 OVERLAY | P-25 OVERLAY | P-26 OVERLAY | P-27 OVERLAY | P-28 OVERLAY | P-29 OVERLAY | P-30 OVERLAY | P-31 OVERLAY | P-32 OVERLAY | P-33 OVERLAY | P-34 OVERLAY | P-35 OVERLAY | P-36 OVERLAY | P-37 OVERLAY | P-38 OVERLAY | P-39 OVERLAY | P-40 OVERLAY | P-41 OVERLAY  | P-42 OVERLAY | P-43 OVERLAY | P-44 OVERLAY | P-45 OVERLAY | P-46 OVERLAY | P-47 OVERLAY | P-48 OVERLAY | P-49 OVERLAY | P-50 OVERLAY |

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**Sullivan** Associates  
**HOME PLANS**  
 www.sullivanhomeplans.com

APPROX. HEATED AREA  
**21**



APPROX. HEATED AREA  
**2,332**

**Sullivan** Associates  
**HOME PLANS**  
 2200 Springdale Road, #100  
 Springdale, AR 72762-8840  
 479-244-8400

APPROX. HEATED AREA  
**2509**



APPROX. HEATED AREA  
**2,332**



ARCHITECTURAL ELEVATIONS  
**PARKVIEW HEIGHTS**  
**PLANNED DEVELOPMENT**

PHASE 2 AREA 3B  
 OLIVE BRANCH, MISSISSIPPI  
 NOVEMBER, 2025  
 TOTAL AREA: 303,387 Sq. Ft. / 6.99 Ac.  
 FEMA PANEL NO. 28033C0104H / ELEV. N/A

NOTE  
 MINIMUM FINISHED FLOOR AREA OF 1,600 SQUARE FEET WITH A MINIMUM HEATED FLOOR AREA OF 1,200 SQUARE FEET FOR THE FIRST FLOOR FOR MULTI-STORY RESIDENCES.  
 EXCLUSIVE OF OPEN PORCHES AND GARAGES FOR THE DWELLINGS SHALL BE REQUIRED.

PREPARED FOR:  
**RUSSELL CONTRACTING, LLC**  
 P.O. BOX 271  
 COVINGTON, MS 38619

**FISHER ARNOLD**  
 ENGINEERS | ARCHITECTS | DESIGNERS | PLANNERS  
 5000 Highway 110, Suite 100, Memphis, Tennessee 38125  
 901.444.1111 | Fax: 901.444.2222 | www.fishernarnold.com



Project Text Amendment  
 PHASE 2 AREA 3B

# PARKVIEW HEIGHTS PLANNED DEVELOPMENT OLIVE BRANCH, MISSISSIPPI

PREPARED FOR:  
 MAINLAND MCA OLIVE BRANCH, LLC  
 118 16<sup>TH</sup> AVE S, SUITE 230, NASHVILLE, TN 37203

November 14, 2025



**FISHER ARNOLD**  
ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS

9180 Crestwyn Hills Dr.  
 Memphis, TN 38125  
 901-748-1811

Concept Plan Conditions

Parkview Heights Planned Development

January 2, 2007- Revised December 13, 2018 Revised December 1, 2025

**Overview**

Parkview Heights Planned Development is a 68 acre mixed use development that contains retail, office, single family residential, senior housing and residential condominium uses. Parkview Heights complies with the designation set forth in the General Development Plan for the city of Olive Branch and falls within the allowable density recommendations of this area. The plan for Parkview Heights is illustrated on the preliminary plan and reflects lot configuration, building locations, open space and vehicular/pedestrian circulation. A specific and detailed plan of development will be submitted for review and approval by the development staff and the Planning Commission identifying unit sizes, architectural style, exterior building materials, landscape planting plans and other site development features with the application of the Final plats for each phase of development or through Project Text Amendments through City Staff, Planning Commission, and Board of Alderman if the Final Plat for a specific phase of development has been previously approved and recorded. This Amendment pertains to the Area 3B (6.99 Acres).

**I. Area 1**

**A. General Concept**

Area 1 is intended to develop as a general commercial site providing goods and services to the Parkview Heights neighborhood and the greater Olive branch community. Area 1 is also intended to create the identity and gateway for Parkview Heights.

**B. Uses Permitted:**

Uses as permitted by right and as governed by the General Commercial (C-3) District with the exception of:

- 1) Aluminum can collection center with no processing or outside storage
- 2) Bus terminal
- 3) Crop, soil preparation, agriculture services.
- 4) Laboratories, research, experimental or testing
- 5) Plumbing shop
- 6) Radio and television towers, or antennas, or earth stations

- 7) Parking, automobile parking lot or garages
- C. Site Development Regulations (setbacks, height and other bulk regulations)
- 1) Building Setbacks:
    - a) Front yard setback from any street R.O.W. shall be fifty (50) feet.
    - b) Rear yard setback shall be twenty (20) feet.
    - c) Side yard setbacks shall be zero (0) feet.
  - 2) Maximum building height shall be thirty-five (35) feet
- D. Access, Parking and Circulation
- The City Engineer shall approve the design and location of curb cuts.
- 1) One (1) curb cut shall be permitted along Parkview Boulevard to be shared along common property lines with Area 6; and one (1) curb cut on Morell Road as illustrated on the Conceptual Site Plan
  - 2) Off-street parking shall be at the ratio of one parking space per two hundred (200) square feet of gross floor area and loading shall be in accordance with Article XI of City of Olive Branch Zoning Ordinance for the General Commercial (C-3) District.
- E. Landscaping, Bufferyards, and Screening
- 1) A fifteen (15) foot Landscape Buffer Plate B (see Exhibit 4) shall be installed along Parkview Boulevard as illustrated on the Conceptual Site Plan. Interior landscaping shall be in accordance with the City of Olive Branch Design Review Ordinance.
  - 2) A fifteen (15) foot Landscape Buffer Plate C (see Exhibit 5) shall be installed along Goodman Road and Morell Road as illustrated on the Conceptual Site Plan.
  - 3) All landscape areas will be provided with an underground irrigation system
- F. Signage:
- 1) Permitted Signs:
    - a) Wall signs
    - b) Ground mounted signs
    - c) Marquee signs
    - d) Awning signs
    - e) Directories
    - f) Temporary signs

- g) Automatic changing signs displaying time, temperature, date or electronically controlled messages.
- 2) One (1) ground-mounted sign with a maximum height of six (6) feet and a maximum area of one hundred (100) square feet shall be permitted.
- 3) One (1) ground-mounted integrated overall development sign with a maximum height of twenty (20) feet and a maximum area of one hundred twenty-five (125) square feet shall be permitted.
- 4) The minimum setback from any public right-of-way shall be ten (10) feet excluding directional and traffic signs.
- 5) Prohibited Signage:
  - a) Portable signs shall not be permitted.
  - b) Signs that have blinking, flashing or other illuminating devices which change light intensity, brightness or color are not permitted.
  - c) Beacon lights are not permitted.

## II. Area 2

### A. General Concept

Area 2 is intended to provide for single family residential home ownership in traditional detached residences. Density of development is expected to be 4.4 units per acre. Area 2 will have a Homeowner's Association that requires the home owners to participate in maintenance and improvements of the Common Open Space while requiring individual home maintenance by the individual owners.

All residential structures shall be constructed of a minimum of sixty-seven (67) percent brick exterior. All homes shall be enclosed with garages. All driveways shall be constructed of concrete. Roofs shall be pitched at a minimum ratio of 8 to 12. Unit design and style shall be approved by the developer. All homes shall have architectural shingles.

Minimum finished heated floor area of 1,600 square feet, with a minimum heated floor area of 1,200 square feet for the first floor for multi-story residences, exclusive of open porches and garages, for single-family detached dwellings.

### B. Uses Permitted:

Single family detached residential uses, customary accessory uses and public service facilities as permitted by right.

C. Site Development Regulations (setbacks, height and other bulk regulations)

1) Building Setbacks:

- a) Front yard setback from Parkview Boulevard R.O.W. shall be fifty (50) feet.
- b) Front yard setback from any internal R.O.W. shall be twenty-five (25) feet.
- c) Rear yard setback be twenty (20) feet
- d) Side yard setbacks shall be five (5) feet.
- e) **Lots 1, 3, 4, 6, 7, 9, 10 and 12 shall have a 22' front yard setback along Goldfinch and Laughing Gull Lanes.**

D. Access, Parking and Circulation:

The City Engineer shall approve the design and location of curb cuts.

- 1) Two (2) curb cuts shall be permitted along Parkview Boulevard as illustrated on the Conceptual Site Plan
- 2) All internal public streets shall be constructed to meet the City of Olive Branch pavement design standards and regulations and shall be a minimum width of fifty (50) feet (see Exhibit 1).
- 3) Two (2) off0street parking spaces shall be provided within an enclosed garage for each dwelling unit.

E. Landscaping, Bufferyards, Screening

- 1) A fifteen (15) foot Landscape Buffer Plate A (see Exhibit 3) shall be installed along Parkview Boulevard, as illustrated on the Concept Plan. Interior landscaping shall be in accordance with the City of Olive Branch Design Review Ordinance.
- 2) A fifteen (15) foot Landscape Buffer Plate D (see Exhibit 6) shall be installed along the rear property line adjacent to the YMCA site illustrated on the Site Plan. Maintenance of this plate is the responsibility of the lot owner. Installation and/or replacement of plant material fencing in this area is the responsibility of the Homeowners Association.
- 3) A fifty (5) foot Landscape Buffer Plate F (see Exhibit 7) shall be installed along the rear property line adjacent to the Maples Memorial Methodist Church as illustrated on the Site Plan.

- 4) All landscaped areas will be provided with an underground irrigations system.
- 5) All common open space shall be maintained by a Homeowner's Association and will be used for passive recreational uses such as natural (gravel, mulch) walks and benches.

#### F. Signage

- 1) Permitted Signs:
  - a) Ground Mounted Subdivision identification sign
  - b) Directional signs
  - c) Trail markers and other signs related to Open Space Amenities.
  - d) Model center signs
  - e) Temporary signs
  - f) Automatic changing signs displaying time, temperature, date or electronically controlled messages.
- 2) One (1) ground-mounted sign with a maximum height of six (6) feet and a maximum area of twenty-five (25) square feet shall be permitted at each curb cut.
- 3) The minimum setback from any public right-of-way shall be ten (10) feet excluding directional and traffic signs.
- 4) Prohibited Signs:
  - a) Portable signs shall not be permitted.
  - b) Signs that have blinking, flashing or other illuminating devices which change light intensity, brightness or color are not permitted.
  - c) Beacon lights are not permitted.

### III. Area 3A

#### A. General Concept

Area 3A is intended to provide for development of single family residential dwellings in a condominium ownership community. Dwellings are to be constructed in a four dwelling, attached structure including individual garages for each unit. The condominium community offers home ownership with limited requirements for property maintenance by the individual owners. An individual owner includes the holder of legal title as well as holders of an equitable interest, such as trust beneficiaries, contract purchasers, option holders, leases under

leases having an unexpired term of at least 10 years, and the like. A condominium association will provide for regular maintenance for all grounds and facilities. The Homeowner's Association will limit condominium ownership to any individual, partnership or corporation to two (2) contiguous or non-contiguous units. This condition will protect the individual owner's property as well as ensuring lasting quality with Area 3A.

**B. Uses Permitted:**

Residential Condominium use, customary accessory uses and public service facilities as permitted by right and as governed by the Planned Residential (R-3) District.

**C. Site Development Regulations (setbacks, height and other bulk regulations)**

**1) Building Setbacks:**

- a) Front yard setback from Parkview Boulevard R.O.W. shall be fifty (50) feet.
- b) Front yard setback from any private drive shall be fifteen (15) feet.
- c) Rear yard setback shall be thirty (30) feet from the exterior boundary.
- d) Side yard setbacks shall be twenty-five (25) feet for the exterior boundary.
- e) Internal setbacks between buildings shall be a minimum of twenty-five (25) feet.

**2) Maximum building height shall be thirty-five (35) feet.**

**D. Access, Parking and Circulation:**

The City Engineer shall approve the design and location of curb cuts.

- 1) Two (2) curb cuts shall be permitted along Parkview Boulevard as illustrated on the Conceptual Site Plan.
- 2) All internal private drives shall be constructed to meet the City of Olive Branch pavement design standards and regulations and shall be a minimum of thirty (30) feet (see Exhibit 2).
- 3) Two (2) off-street parking spaces shall be provided within an enclosed garage for each dwelling unit.

**E. Landscaping, Bufferyards, and Screening**

- 1) A fifteen (15) foot Landscape Buffer Plate A (see Exhibit 3) shall be installed along Parkview Boulevard, as illustrated on the Concept Plan. Interior landscaping shall be in accordance with the City of Olive Branch Design Review Ordinance.
- 2) A fifteen (15) foot Landscape Buffer Plate D (see Exhibit 5) shall be installed along the east boundary where adjacent to office uses as illustrated on the Concept Plan.
- 3) A ten (10) foot Landscape Buffer Plate E (see Exhibit 6) shall be installed along the southern boundary as illustrated on the Concept Plan.

F. Signage:

- 1) Permitted Signs:
  - a) Ground Mounted Subdivision identification sign
  - b) Directional signs
  - c) Clubhouse, trail markers and other signs related to Open Space Amenities.
  - d) Temporary signs
  - e) Model center sign
  - f) Automatic changing signs displaying time, temperature, date or electronically controlled messages.
- 2) One (1) ground-mounted sign with a maximum height of six (6) feet and a maximum area of twenty-five (25) square feet shall be permitted at each curb cut.
- 3) The minimum setback from any public right-of-way shall be ten (10) feet excluding directional and traffic signs.
- 4) Prohibited Signs:
  - a) Portable signs shall not be permitted
  - b) Signs that have blinking, flashing or other illuminating devices which change light intensity, brightness or color are not permitted.
  - c) Beacon lights are not permitted.

G. Miscellaneous

- 1) Proposed five (5) foot sidewalk along the west side Parkview Oaks Circle abutting Area 3B shall be installed in conjunction with construction of Area 3B and completed prior to issuance of a Building Permit for Area 3B.

- 2) Curb and gutter shall be installed along the west side of Parkview Oaks Circle to eliminate potential direct access from Area 3A to Area 3B in conjunction with construction of Area 3B and completed prior to issuance of a Building Permit for Area 3B.

### **Area 3B**

#### **A. General Concept**

~~Area 3B is intended for development of a Memory Care and Assisted Living facility, along with other medical uses which will create a buffer between the condominium community of Area 3A and other more intensive uses.~~

Area 3B is intended to provide for development of detached single family residential dwellings. The residences will have rear loaded garages that are accessed from a private 18' alley. This community will have a Homeowners Association for the ownership and maintenance of roads, alleys, landscape buffers, and common open spaces. The Conditions, Covenants, and Restrictions (CCRs) of the subdivision shall stipulate that the Homeowner's Association will limit lot ownership to any individual, partnership or corporation to two (2) contiguous or non-contiguous lots. This condition will protect the individual owner's property as well as ensuring lasting quality with Area 3B.

Minimum finished heated floor area of 1,800 square feet, with a minimum heated floor area of 1,600 square feet for the first floor for multi-story residences, exclusive of open porches and garages for the dwellings shall be required.

#### **B. Uses Permitted:**

~~Assisted living facilities, senior housing, nursing homes, customary accessory uses and medical/dental/physical therapy offices permitted by right.~~

Detached Single Family Residential uses, customary accessory uses and public service facilities as permitted by right and as governed by the Planned Residential (R-3) District.

#### **C. Site Development Regulations (setbacks, height and other bulk regulations)**

- 1) Lot Size: The minimum lot size shall be 4,000 s.f. with a minimum building width of 40'.
- 2) Building Setbacks:

- a) Front yard setback from Parkview Boulevard R.O.W shall be fifty (50) feet.
- ~~b) Side and rear yard setbacks from all other property lines shall be thirty (30) feet.~~
- b) Front yard setback from any private drive shall be ten (10) feet along the west side of Street A and fifteen (15') along the south east side of Street A.
- c) Front yard setback from private drives shall be ten (10) feet along both sides of Street B.
- d) Rear yard setback shall be fifteen (15) feet from the private alleys.
- 3) Maximum building height shall be thirty-five (35) feet ~~and limited to one story.~~
- ~~4) All buildings within Area 3B shall front Parkview Boulevard.~~

D. Access, Parking and Circulation:

The City Engineer shall approve the design and location of all curb cuts.

- 1) One (1) curb cut shall be permitted along Parkview Boulevard as illustrated on the Preliminary PUD Site Plan.
- 2) No curb cuts or access from Area 3B shall be permitted to Parkview Oaks Circle.
- 3) The private gate shall have an SOS Access System with single switch lock by KNOX Box Model 3502 as approved by the City of Olive Branch Fire Department. Final inspection and approval by the Fire Inspector is required prior to acceptance.
- ~~4) Minimum parking stall dimensions shall be in accordance with the City of Olive Branch design standards and regulations.~~
- 3) All internal private drives shall be constructed to meet the City of Olive Branch pavement design standards and regulations and shall be a minimum of thirty-one (31) feet.
- ~~5) Minimum drive aisle dimensions shall be in accordance with the City of Olive Branch design standards and regulations and shall be a minimum of twenty five (25) feet for two-way traffic.~~
- 4) Two (2) off-street parking spaces shall be provided within an enclosed garage for each dwelling unit.
- ~~6) All parking to meet the minimum parking requirements shall be constructed of asphalt or concrete. Any overflow or additional~~

~~parking provided above and beyond the amount required by code can be constructed of pervious materials; however, surplus parking is not required to be constructed of pervious materials.~~

~~7) Loading requirements shall be in accordance with Article XI of the City of Olive Branch Zoning Ordinance.~~

E. Landscape, Bufferyards, and Screening:

(1) A fifteen (15) foot Landscape Buffer Plate A (see Exhibit 3) shall be installed along Parkview Boulevard, as illustrated on the Preliminary PUD Site Plan. Interior landscaping shall be in accordance with the City of Olive Branch Design Review Ordinance.

~~(2) A five (5) foot Landscape Buffer Plate G (see Exhibit 7A with a 6 foot wooden fence shall be installed along the western portion of Area 3B where adjacent to Office Uses, as illustrated on the Preliminary PUD Site Plan.~~

(3) A ten (10) foot Landscape Buffer Plate F (see Exhibit 7) with a 6 foot sight proof fence with brick or stone columns at 50' o.c. shall be installed along the ~~remainder of the~~ eastern boundary of Area 3B, as illustrated on the Preliminary PUD Site Plan.

~~2) A fifteen (15) foot Landscape Buffer Plate D (see Exhibit 6) with a 6 foot wooden fence shall be installed along the northern boundary of Area 3B, as shown on the Preliminary PUD Site Plan.~~

~~3) A ten (10) foot Landscape Buffer Plate E (see Exhibit 7) shall be installed along the all interior boundary lines within Area 3B, as shown on the Preliminary PUD Site Plan.~~

~~4) A fifteen (15) foot Landscape Buffer Plate G (see Exhibit 7B) with a white decorative fence to match the existing fence along Parkview Boulevard shall be installed along Parkview Oaks Circle, as shown on the Preliminary PUD Site Plan, PRIOR to a Building Permit being issued within Area 3B.~~

(4) All landscaping areas will be provided with an underground irrigation system.

F. Signage:

1) Permitted Signs:

- a) Ground Mounted Development identification sign
- b) Directional signs

- c) Clubhouse, trail markers and other signs related to Open Space Amenities
  - d) Temporary signs
  - e) Model center sign
- 2) One (1) ground-mounted sign with a maximum height of ~~eight (8)~~ six (6) feet and a maximum area of ~~seventy-five (75)~~ twenty-five (25) square feet shall be permitted ~~along Parkview Boulevard for each lot~~ at each curb cut.
  - 3) The minimum setback from any public right-of-way shall be ten (10) feet excluding directional and traffic signs.
  - 4) Prohibited Signs:
    - a) Portable signs shall not be permitted
    - b) Signs that have blinking, flashing or other illuminating devices which change light intensity, brightness or color are not permitted.
    - c) Beacon lights are not permitted.

**G. Lighting Regulations:**

- ~~1) Private streets, driveways, parking lots, walks and service areas shall be kept properly and adequately lighted at all times so that the area will be safe for occupants and visitors. Lighting levels should be as even as possible, not exceeding an average of 1.0 footcandles for commercial developments, provided and 0.4 footcandles for residential development, provided that such lighting may not cast light beyond the property's boundaries. All entrances and exits to both the subject property and any proposed structures shall be lighted.~~
- ~~2) Lighting fixtures within commercial and multiple family developments, whether mounted upon a building or independently upon a light standard, shall not exceed 25 feet in height.~~
- ~~3) All luminaires (the complete lighting unit, consisting of the light source and all necessary mechanical, electrical and decorative parts) shall be a "cut-off type" luminaire, with elements such as shields, reflectors, or refractor panels which direct and cut-off the emitted light at a specific angle). All luminaires shall have a cut-off angle of 90 degrees or less.~~

- ~~4) The lighting from any luminaire shall be shielded, shaded, or directed such that the direct or reflected light therefrom shall interfere with the operation of automotive vehicles on any adjacent street.~~
- ~~5) No exterior lighting fixture of any kind shall be so placed or directed such that the direct or reflected light therefrom shall interfere with the operation of automotive vehicles on any adjacent street.~~
- ~~6) No exterior light shall have blinking, flashing, or fluttering light, or other illuminating device which has a changing light intensity or brightness of color.~~
- ~~7) All exterior lighting fixtures shall be either high pressure or sodium or metal halide fixtures.~~
- ~~8) Lighting fixtures shall be compatible in style with the architecture of their associated buildings.~~

#### G. Miscellaneous

- ~~1) All existing infrastructure within Area 3B associated with the existing Oak heights Lane private drive shall be removed prior to issuance of a Certificate of Occupancy for any building located within Area 3B.~~
- 1) Proposed five (5) foot sidewalk along the west side Parkview Oaks Circle abutting Area 3B shall be installed in conjunction with construction of Area 3B and completed prior to issuance of a Building Permit for Area 3B.
- ~~2) Buildings within Area 3B are allowed by right to be connected via covered and/or enclosed walkways not to exceed twelve (12) feet in width, however, covered/enclosed walkways connecting buildings are not required.~~
- 2) Curb and gutter shall be installed along the west side of Parkview Oaks Circle to eliminate potential direct access from Area 3A to Area 3B in conjunction with construction of Area 3B and completed prior to issuance of a Building Permit for Area 3B.

**IV. Area 4**

**A. General Concept**

Area 4 is intended to expand the Olive Branch Community Park providing additional passive use areas and protecting unique features of the site. This area will also be used in part to satisfy the requirements for open space.

**B. Uses Permitted:**

Common Open Space to be dedicated to the City of Olive Branch at the time of Final Plat approval for Phase 1.

**V. Area 5**

**A. General Concept**

Area 5 is intended to provide for the development of Class A, professional office space in three (3) two-story buildings.

**B. Uses Permitted:**

Any use permitted by right or conditional use a governed by the Office (O) District and:

- 1) Mortuary or Funeral Home

**C. Site Development Regulations (setbacks, height and other bulk regulations)**

1) Building Setbacks:

- a) Front yard setback from Parkview Boulevard R.O.W. shall be fifty (50) feet.
- b) Front yard setback from any Morell Road shall be fifty (50) feet.
- c) Rear yard setback shall be twenty (20) feet.
- d) Side yard setbacks shall be five (5) feet.

- 2) Maximum building height shall be thirty-five (35) feet

**D. Access, Parking and Circulation:**

The City Engineer shall approve the design and location of curb cuts.

- 1) Two (2) curb cuts shall be permitted along Parkview Boulevard to be shared along common property lines within Area 5.
- 2) Off-street parking shall be at the ratio of one (1) parking space per three hundred (300) square feet of gross floor area for office space and one (1) parking space per two hundred (200) square feet of gross floor area for all other permitted uses. Loading shall

be in accordance with Article XI of the City of Oliver Branch Zoning Ordinance for the Office (O) District.

**E. Landscaping, Bufferyards, and Screening**

- 1) A fifteen (15) foot Landscape Buffer Plate B (see Exhibit 4) shall be installed along Parkview Boulevard, as illustrated on the Concept Plan. Interior landscaping shall be in accordance with the City of Olive Branch design Review Ordinance.
- 2) A fifteen (15) foot Landscape Buffer Plate C (see Exhibit 5) shall be installed along Morrell Road and Street B as illustrated on Conceptual Site Plan.
- 3) Buildings shall be designed and oriented in a manner that provides a compatible relationship with buildings and lots located on the west side of Morrell Road.

**F. Signage:**

- 1) Permitted Signs
  - a) Wall signs
  - b) Ground mounted signs
  - c) Directories
  - d) Temporary signs
  - e) Automatic changing signs displaying time, temperature, date or electronically controlled messages,
- 2) One (1) ground-mounted sign with a maximum height of six (6) feet and a maximum area of one hundred (100) square feet shall be permitted at each curb cut.
- 3) The minimum setback from any public right-of-way shall be ten (10) feet excluding directional and traffic signs.
- 4) Prohibited Signs:
  - a) Portable signs shall not be permitted.
  - b) Signs that have blinking, flashing or other illuminating devices which change light intensity, brightness or color are not permitted.
  - c) Beacon lights are not permitted.

**VI. Miscellaneous**

- 1) Parkview Boulevard shall be dedicated and improved to an eighty-four (84) foot Right-of-Way (see Exhibit 1) with a center turn lane.

- 2) Storm water detention areas shall be permitted in bufferyards as long as the required number of trees is provided and the storm water detention areas are landscaped.
- 3) All required landscaping shall not conflict with any existing proposed easements.
- 4) All construction and improvements shall be in compliance with erosion and sediment control guidelines and ordinances of the City of Olive Branch and the State of Mississippi.
- 5) All refuse containers; recycle containers and refuse packers shall be screened from public view in accordance with the Olive Branch Design Review Ordinance.
- 6) Loading docks shall be located and screened from view of adjacent public rights-of-way.
- 7) Further building elevations and plans may be added by the developer but must meet the following criteria:
  - a) All proposed building styles shall not deviate from the Colonial, English and French Cottage style of home as set forth by the attached plans and elevations.
  - b) All proposed buildings shall meet the same required square footage and percentage brick as set forth in Section I.A above.
  - c) All proposed buildings shall be approved by the City of Olive Branch Planning Staff and Lavelle Walker. Should the plans not be approved by the City Planning Staff or Lavelle Walker, the Developer can appeal to the Mayor and Board of Alderman for final determination.

**VII. Drainage**

- A. The storm water drainage system shall be designed and constructed to the standards of the City of Olive Branch Regulations.
- B. All Site Plans shall include a Preliminary Grading and Drainage Plan for review by the City Engineer.

**VIII. Sanitary Sewer**

The sanitary sewer system shall be designed and constructed in accordance with the Mississippi Department of Health and Environment and the City of Olive Branch standards and specifications.

**IX. Utilities**

- A. All utility service meters, junction boxes, transformers and other utility appurtenances shall be placed in service areas or otherwise screened from public view.
- B. Overhead electrical lines shall be permitted only along the east property line of the development. All other utilities shall be underground.

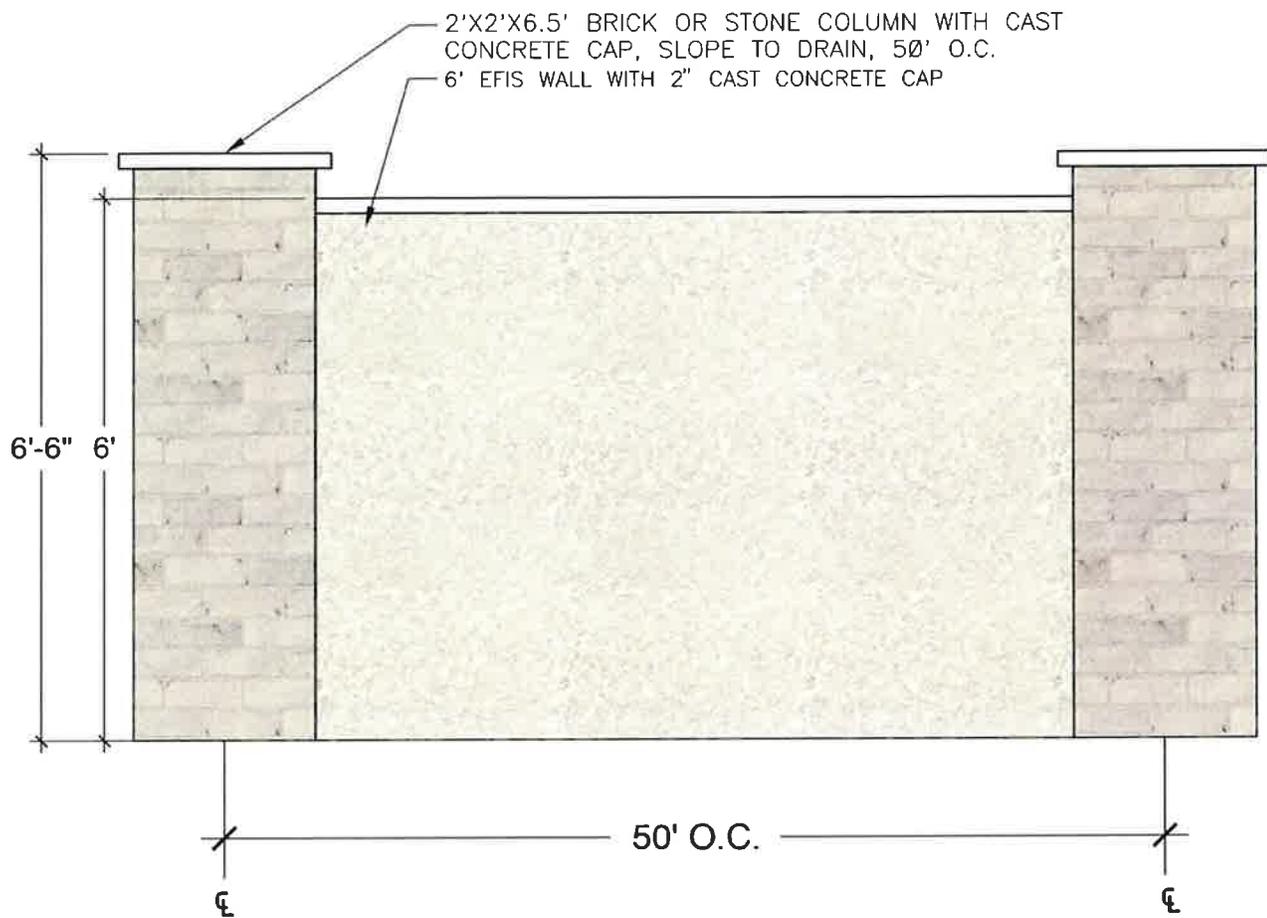
**X. Final Plan Review**

- A. The final site plan/final plat shall contain the following information:

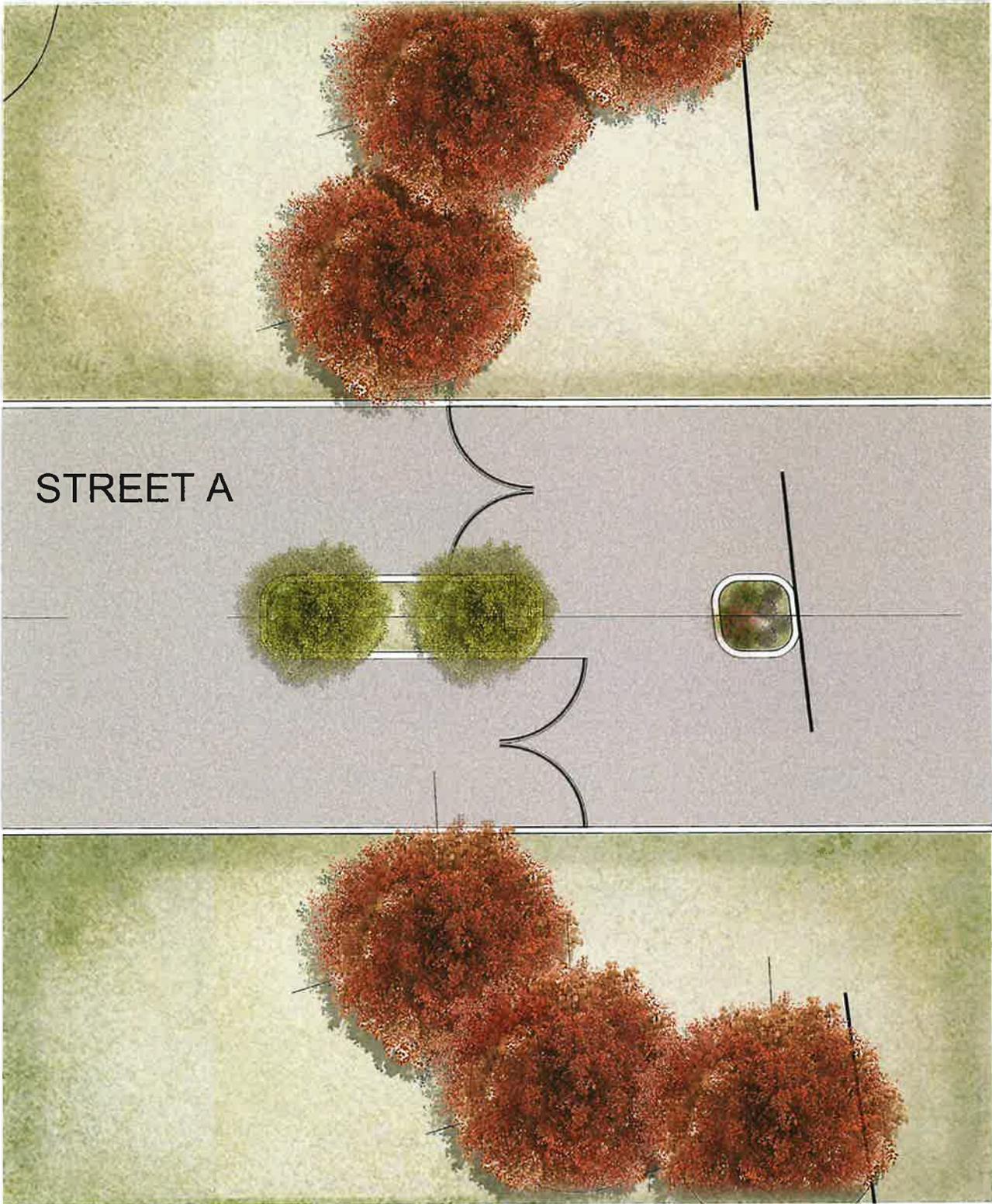
- 1) The location, dimensions, floor area and height of typical buildings, structures, signs and parking areas.
- 2) Specific landscape plans for internal and perimeter landscaping and screening, including plant species and sizes.
- 3) The location and use of all common open space.
- 4) The proposed exterior appearance of buildings and signs including elevation drawings and material selections.
- 5) Proposed means of access and circulation of automobile and pedestrian traffic.

- B. The final plan shall be reviewed based upon the following criteria:

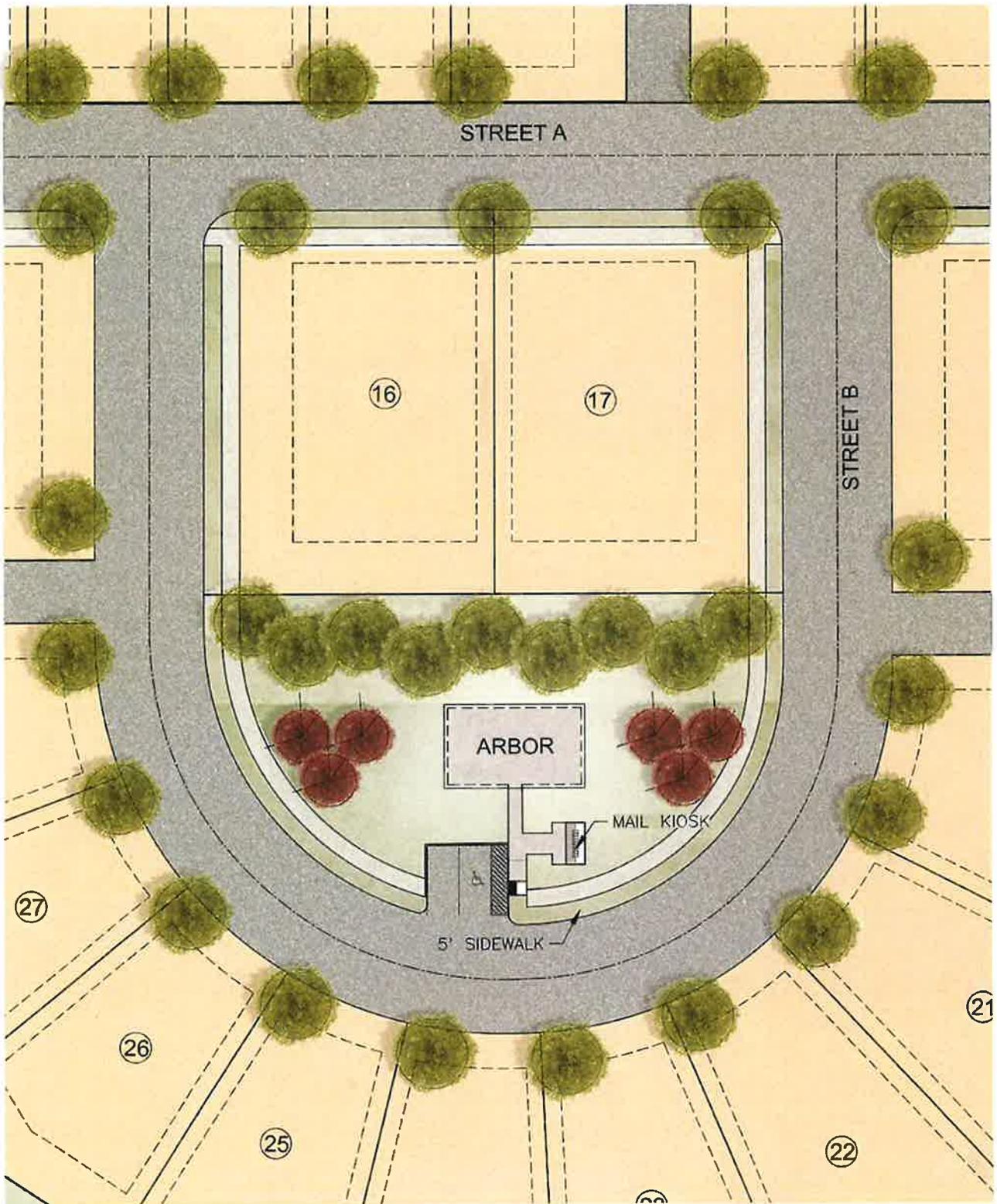
- 1) Conformance with the Concept Plan Conditions and Subdivision Regulations
- 2) Conformance with the standards and criteria for planned developments contained in the Zoning Ordinance.
- 3) Conformance with the design principles for the Olive Branch Design Review Ordinance.



1 FENCE DETAILS  
NTS



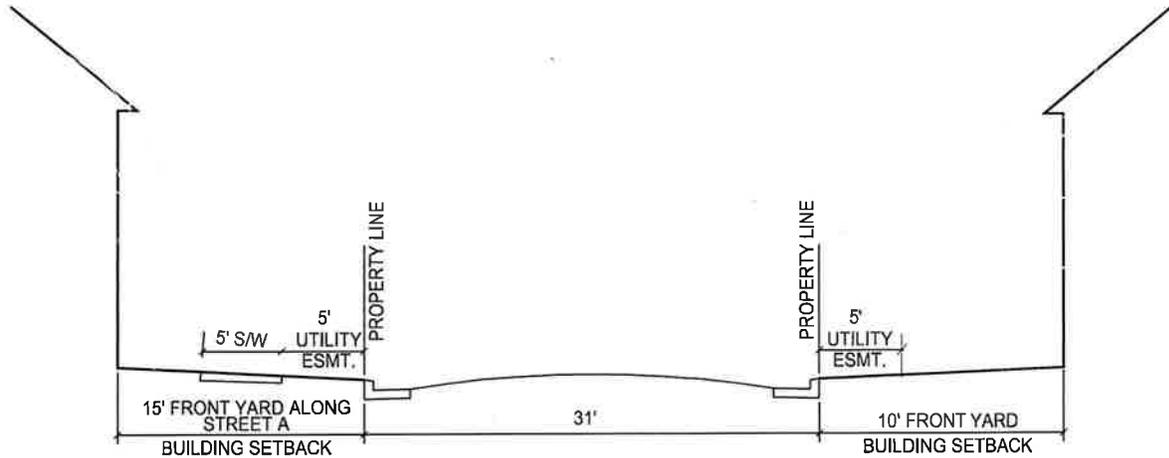
2 GATED ENTRY DETAIL  
1"=10'



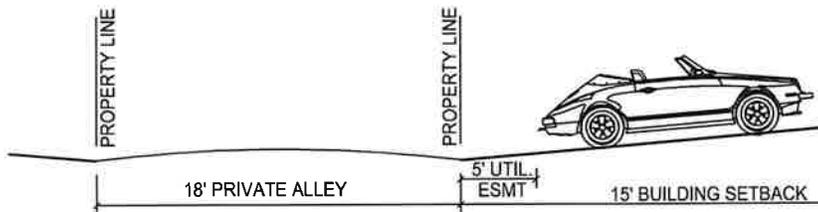
3 MAIL KIOSK DETAIL  
1"=40'



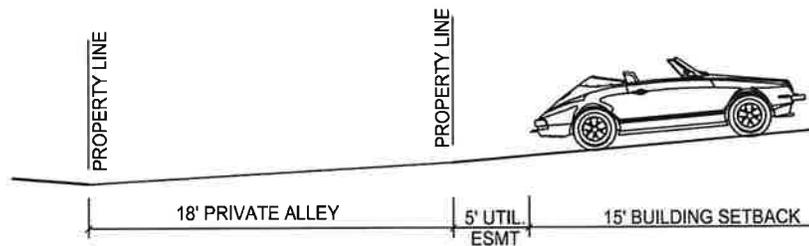
4 ENTRY GATE CONCEPT  
NTS



**31' PRIVATE DRIVE  
CROSS SECTION**  
NOT TO SCALE



**18' PRIVATE ALLEY  
CROSS SECTION  
OPTION A**  
NOT TO SCALE

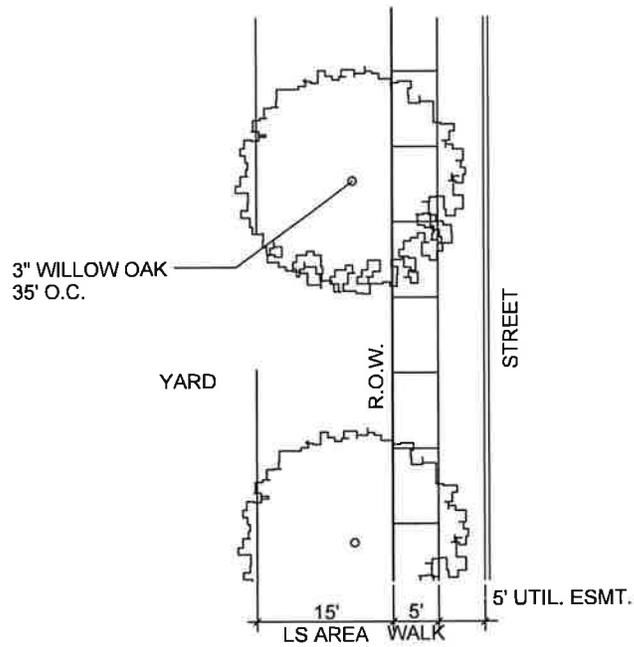
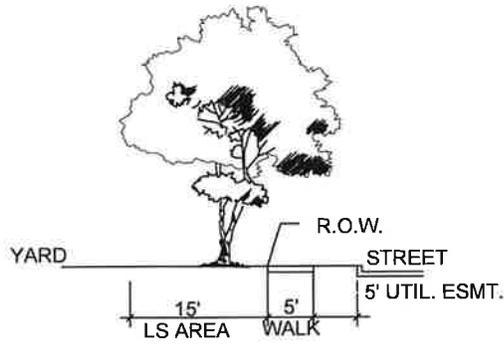


**18' PRIVATE ALLEY  
CROSS SECTION  
OPTION B**  
NOT TO SCALE

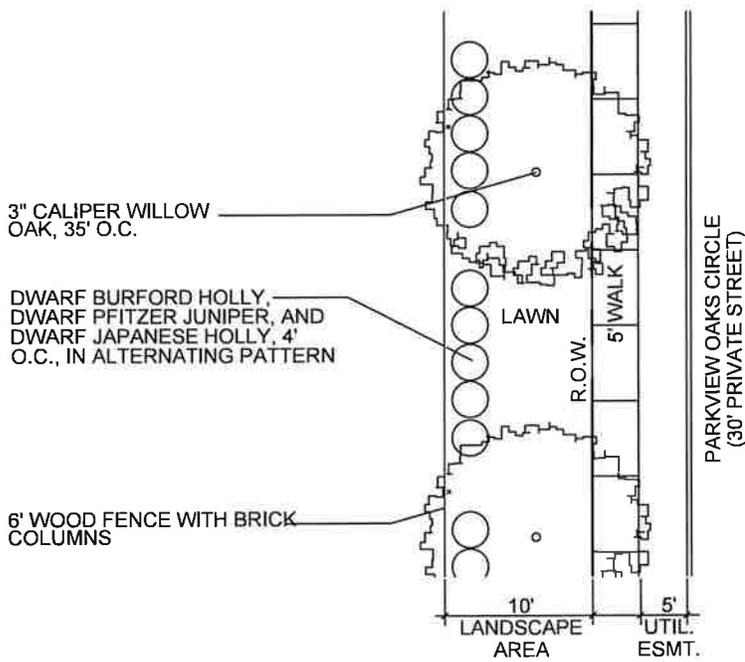
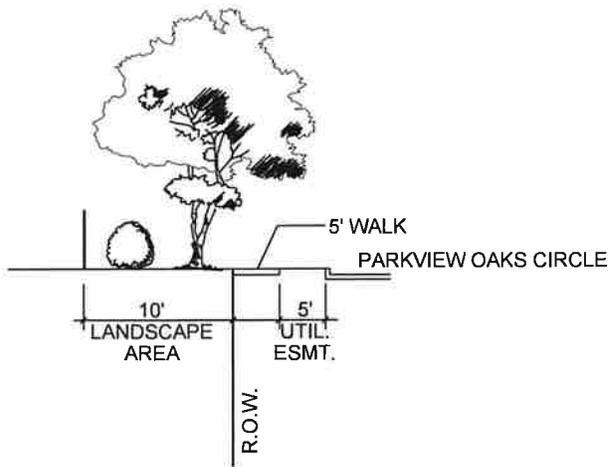


9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-9538  
901.748.1811 | Fax: 901.748.3115 | www.fisherarnold.com

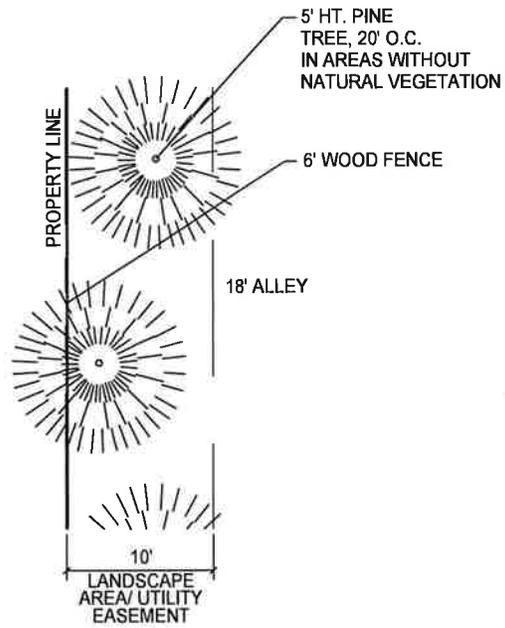
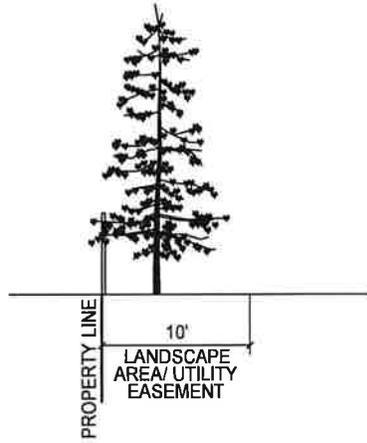
**EXHIBIT 1**



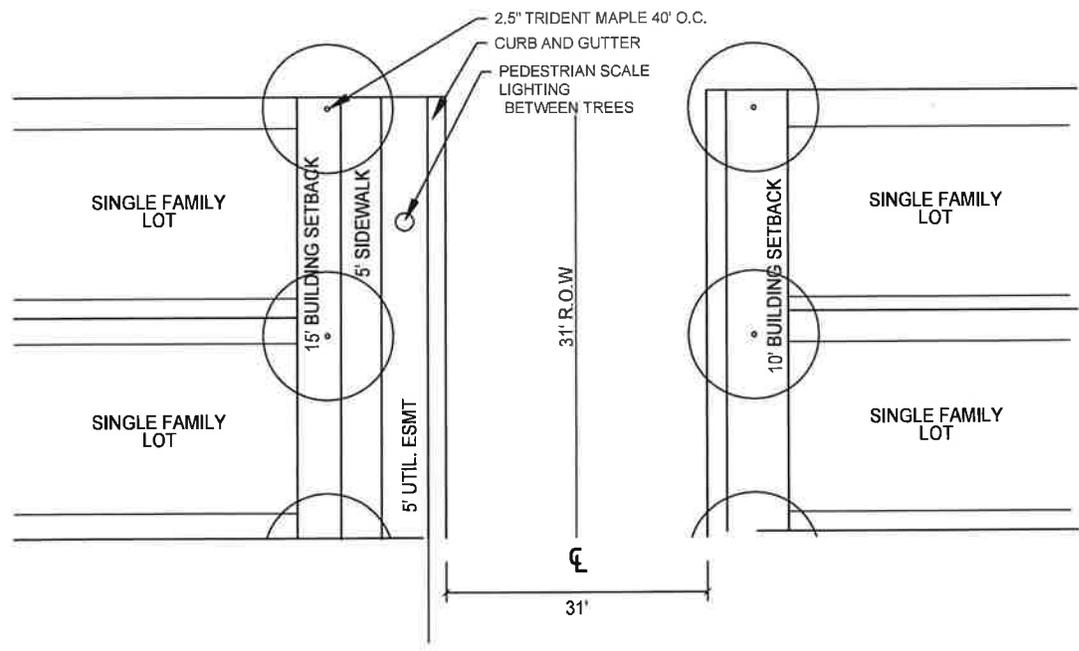
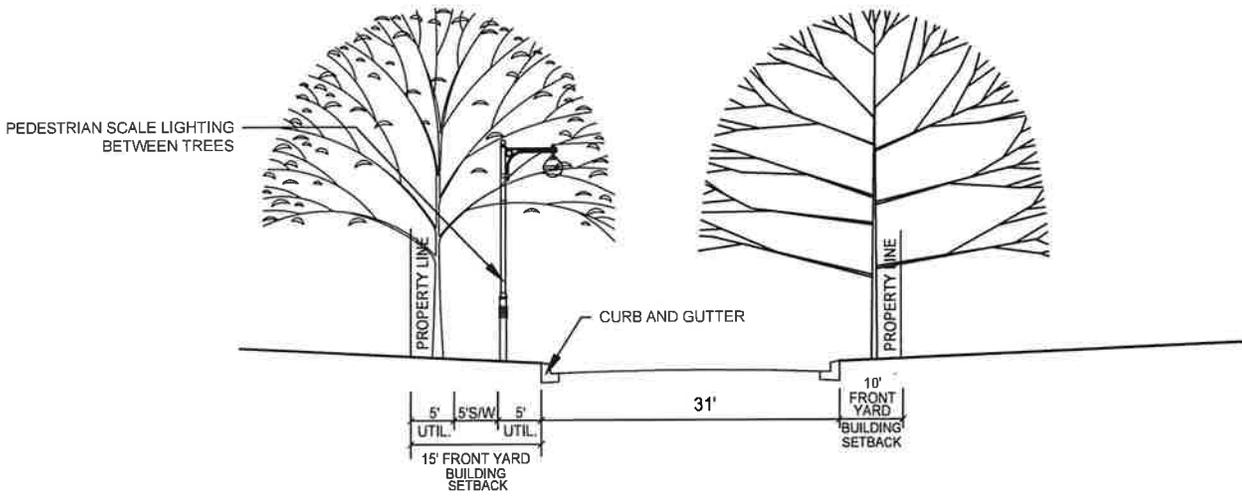
**15' LANDSCAPE PLATE A**  
**NOT TO SCALE**



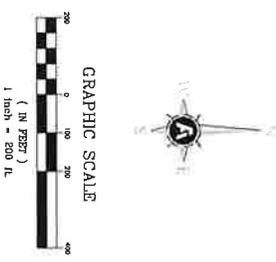
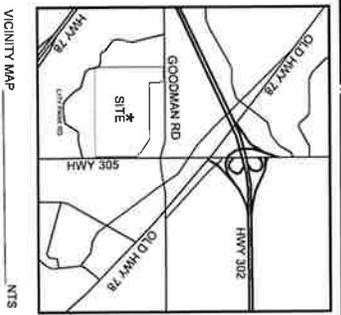
**10' LANDSCAPE PLATE F**  
**NOT TO SCALE**



10' LANDSCAPE  
 PLATE G  
 NOT TO SCALE



**LANDSCAPE PLATE H**  
NOT TO SCALE



OUTLINE PLAN  
**PARKVIEW HEIGHTS**  
**PLANNED DEVELOPMENT**

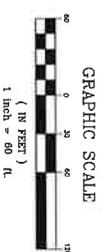
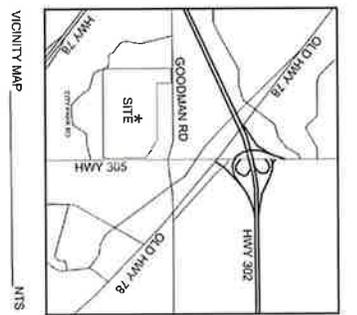
PHASE 2 AREA 3B  
 OLIVE BRANCH, MISSISSIPPI  
 NOVEMBER, 2025  
 TOTAL AREA: 303,387 Sq. Ft. / 6.99 Ac.  
 FEMA PANEL NO. 28033C0104H / ELEV. N/A

PREPARED FOR:  
**RUSSELL CONTRACTING, LLC**  
 P.O. BOX 331  
 COVD MS3895

**FISHER ARNOLD**  
 ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS  
 8100 Cantelero Drive, Suite 100, Memphis, Tennessee 38125-4230  
 P: 901.857.3311  
 F: 901.857.3311  
 www.fishernroll.com

NOTE:  
 BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM OTHERS.

A B C D E F G H J K L M N  
 1 2 3 4 5 6 7 8 9 10



**PRELIMINARY  
DEVELOPMENT PLAN  
PARKVIEW HEIGHTS  
PLANNED DEVELOPMENT**

**PHASE 2 AREA 3B  
OLIVE BRANCH, MISSISSIPPI  
NOVEMBER, 2025**  
TOTAL AREA: 303,387 Sq. Ft. / 6.99 Ac.  
FEMA PANEL NO. 2803300104H / ELEV. N/A

NOTE:  
BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM OTHERS

PREPARED FOR:  
**FUSSELL CONTRACTING, LLC**  
P.O. BOX 231  
COLUMBIA, MS 39219

**FISHER ARNOLD**  
ARCHITECTS | PLANNERS  
1800 Canton Mills Drive | Memphis, Tennessee 38124-6324  
901.444.1111 | Fax: 901.444.1111 | www.fishernad.com



**Sullivan** Associates  
**HOME PLANS**  
 www.sullivanhomeplans.com

APPROX. HEATED AREA  
**2,100**



APPROX. HEATED AREA  
**2,332**

**Sullivan** Associates  
**HOME PLANS**  
 2300 Germantown Road #100  
 Germantown, TN 37032  
 Phone: 615-880-7120

APPROX. HEATED AREA  
**2,509**



APPROX. HEATED AREA  
**2,332**



ARCHITECTURAL ELEVATIONS  
 PARKVIEW HEIGHTS  
 PLANNED DEVELOPMENT

PHASE 2 AREA 3B  
 OLIVE BRANCH, MISSISSIPPI  
 NOVEMBER, 2025  
 TOTAL AREA: 303,387 Sq. Ft. / 6.99 Ac.  
 FEMA PANEL NO. 28033CD104H / ELEV. N/A

NOTE  
 MINIMUM FINISHED FLOOR AREA OF 1,600 SQUARE FEET WITH A MINIMUM HEATED FLOOR AREA OF 1,200 SQUARE FEET FOR THE FIRST FLOOR FOR MULTI-STORY RESIDENCES.  
 EXCLUSIVE OF OPEN PORCHES AND GARAGES FOR THE DWELLINGS SHALL BE REQUIRED.

PREPARED FOR:  
 RUSSELL CONTRACTING, LLC  
 P. O. BOX 275  
 COVINGTON, MS 38919

**A FISHER ARNOLD**  
 ARCHITECTS | INTERIORS | EXTERIORS | PLANNING  
 8740 Cantonment Blvd. Orlando, Tennessee 37025-4028  
 603 S. Main St. | P.O. Box 187 | Olive Branch, Mississippi 38654

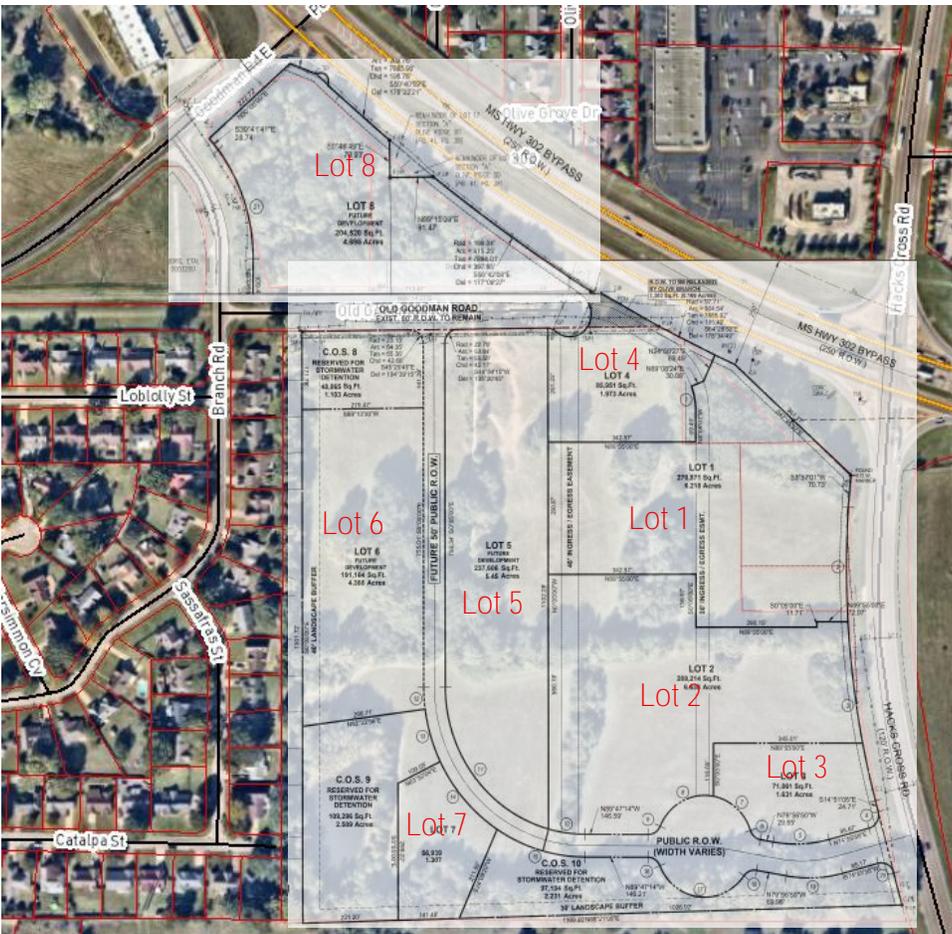
SHEET 3 OF 3

**REPORT TO THE PLANNING COMMISSION**

**CAPTION/SUBJECT:** Application for a Preliminary Plat for The Crossings at Olive Branch Subdivision, submitted by Mike Davis, The Reaves Firm, on behalf of Cooper Realty Investments Inc, property owner. The request is to subdivide 41.5+/- acres into 7 lots. The subject property is zoned C-2, Highway Commercial District, and is located at the southwest corner of Hwy 302 and Hacks Cross Road. (File # SD25-0037).

- EXHIBITS:**
1. Aerial Map
  2. Zoning and Utility Maps
  3. Preliminary Plat – The Crossings at Olive Branch Subdivision
  4. Preliminary Plat previously approved by Board of Aldermen (6/20/06)

**EXECUTIVE SUMMARY:** This application seeks Preliminary Plat approval to subdivide 43.2+/- acres into 8 commercial lots, privately maintained commercial ingress and egress easements, a public street, and three common open spaces for stormwater management. The subdivision would be known as “The Crossings at Olive Branch Subdivision,” and would be at the southwest corner of the intersection of Hacks Cross Rd and Hwy 302. The property is zoned C-2, Highway Commercial Districts. Phase 1 development is intended to include a 40,000sq ft grocery store. A new street to be built in phases would connect Hacks Cross Rd to Old Goodman Rd. Utilities are generally available in the vicinity of the property. All improvements shall be the developer’s responsibility. Staff recommends approval subject to various conditions.



**BACKGROUND:**

The subject property requested for subdivision is 43.2+/- acres located on the south side of HWY 302, between Old Goodman Rd. / Branch Rd. and Hacks Cross Rd. within the C-2, Highway Commercial zoning district. Records show the northern part of the subject property was annexed into the City in 1990 with the remainder annexed in 1996. Its C-2 designation appears on zoning maps dating back to the early 1990’s and 2000’s.

Aerial maps from 1996 show the property had several single-family homes on it prior to the construction of the HWY 302 bypass 25 years ago, but it is currently vacant. It is comprised of both wooded and cleared areas and a 3/4 acre pond in the southwest corner. Running east-west through the property is the right-of-way of Old Goodman Rd., which was in use prior to completion of the bypass. The Old Goodman Rd. right-of-way is approximately 95 ft. in width. The paved road remains in place and there are overhead electric utility lines running parallel along its north side until they reach and cross over HWY 302.

The Preliminary Plat proposes a 7,383 sq ft (0.169 ac) portion of the existing Old Goodman Rd. right-of-way be vacated and its land area incorporated into future Lot 4 of the subdivision. The Subdivision infrastructure is proposed to be developed in multiple phases. As shown in the Development Concept Plan below, Phase 1 would consist of a 40,000sq ft. grocery store on the eastern half of the property, close to Hacks Cross Rd. Areas labelled as “Future Development” may be developed in multiple phases.

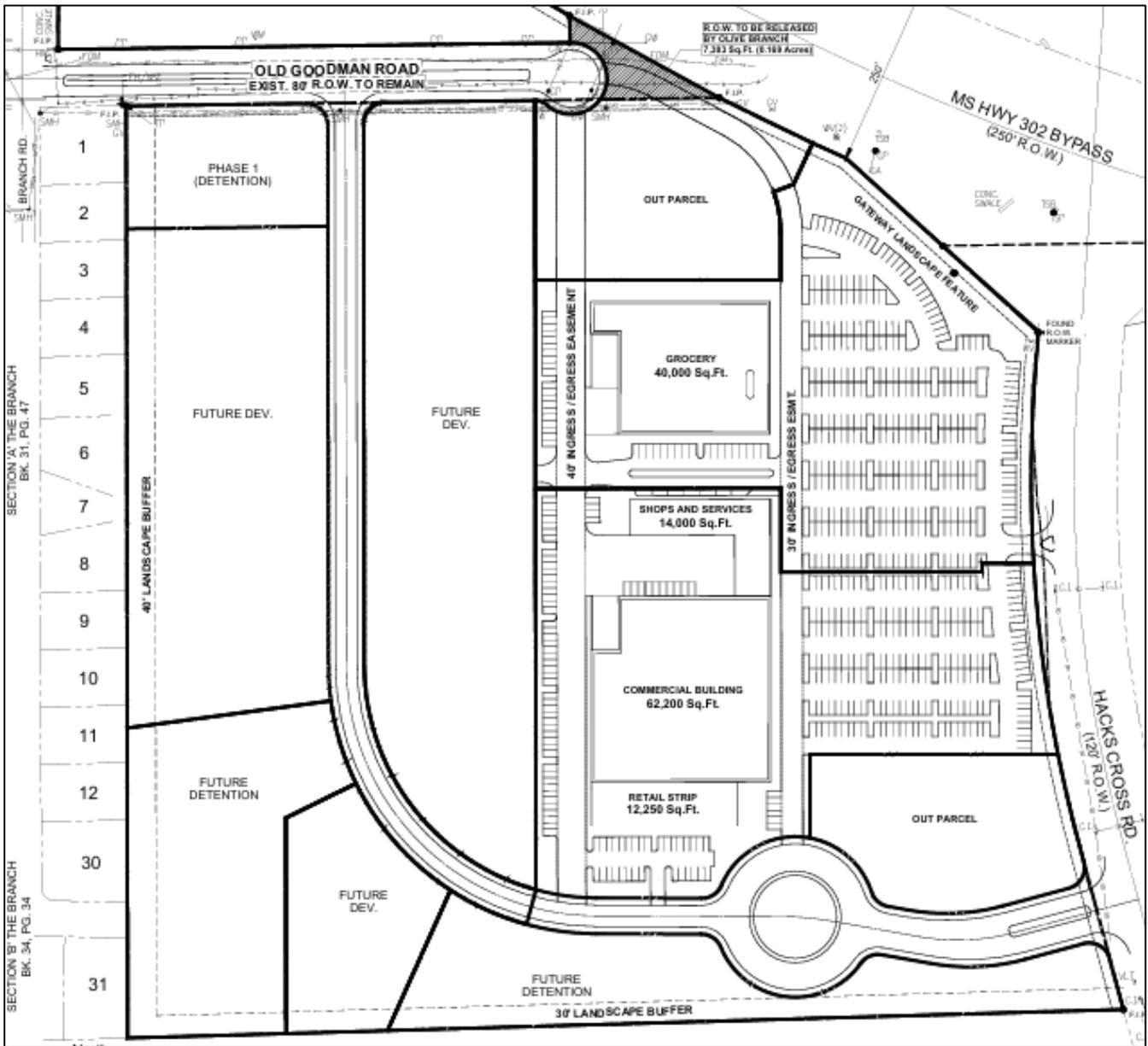


Figure 1: Development Concept Plan

**ANALYSIS:**

**1) Zoning:**

The property is zoned C-2, Highway Commercial. This conventional zoning district allows standard commercial uses by right, such as shopping centers, grocery stores, restaurants, hotels, offices, and auto sales and service.

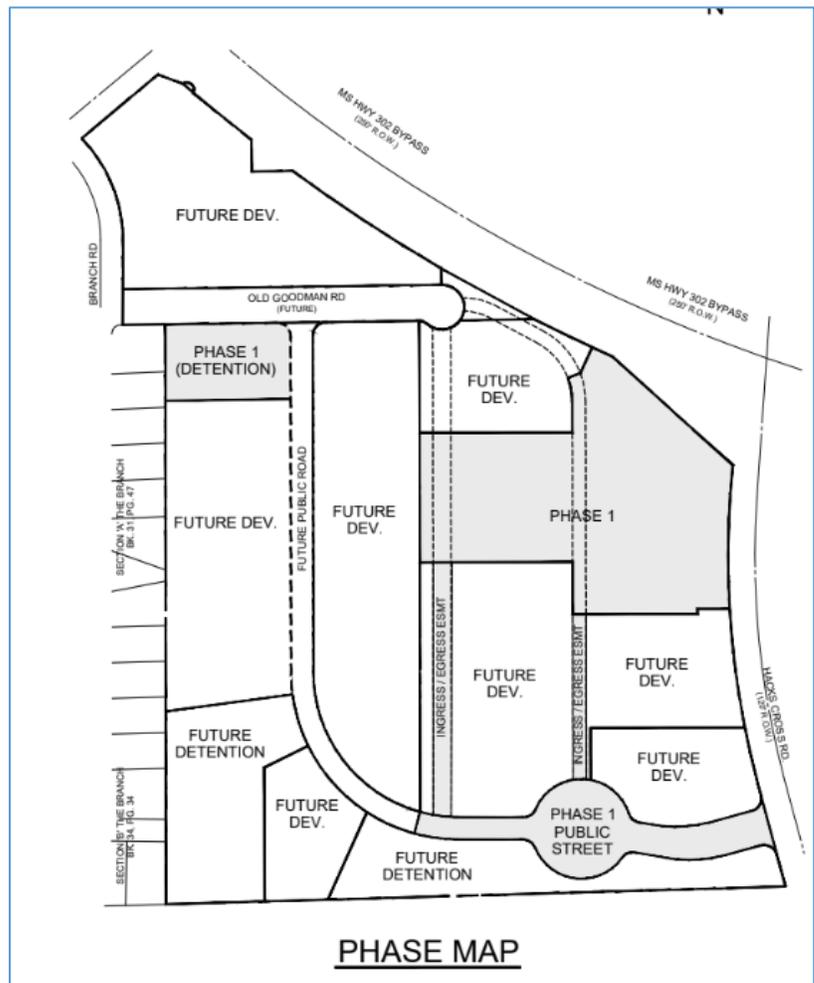
**2) Lots:**

The Preliminary Plat proposes 8 developable lots that all meet the minimum size and dimensional requirements of the C-2 zoning district, which upon future (final) platting and development will need to maintain a minimum of 25% greenspace and require a front setback of 50 ft. and a rear setback of 20 ft. measured from the public rights-of-way of HWY 302 and Hacks Cross Rd. and not the internal drive system. The City’s Design Review Ordinance includes architectural and landscaping requirements, with 30 ft. wide buffers along the south and west property lines that abut residential zoning districts. The preliminary plat proposes a 40ft wide buffer along the property line to the west (adjoining The Branch Subdivision).

The Preliminary Plat proposes a 2-phase development program. Phase 1 includes Lot 2, a portion of a new public street with a roundabout, portions of internal ingress and egress easements, and a common open space reserved for stormwater management. Phase 2 would involve the connection of this new street to Old Goodman Rd. Connection to Branch Rd. may create a need for off-site transportation improvements at the Old Goodman Rd. / HWY 302 intersection. As such, a traffic study would be necessary before the commencement of this “Future Development” phase(s) to determine whether traffic signals are warranted at the intersection of the new street and Hacks Cross Rd and at the Old Goodman Rd and Hwy 302 intersection.

**3) Utilities:**

All utilities are available to the site and appear to be sufficiently sized to support future development. Utility maps depict a 12-inch water line along Hacks Cross Rd. connecting to a 10-inch line located within the Old Goodman Rd. right-of-way and an 8-inch water line within the Branch Rd. right-of-way. There is an 8-inch sewer line located within the rights-of-way of Old Goodman



Rd. and Branch Rd. as well as gas lines within the rights-of-way and around the perimeter of the 43.2+/- acre subject property. Like the overhead electrical facilities located within the Old Goodman Rd. right-of-way, existing water, sewer, and gas lines will need to be rerouted along the path of the new driveway and placed into public utility easements that will be established upon approval and recording of Final Plats. The relocations would be necessary for the new lots to be developable in their proposed configurations and for the portion of the Old Goodman Rd. right-of-way to be duly vacated.

Based on a study done in conjunction with the Vanderburg Flats project, which was denied in 2023, the City Engineer identified a potential need for off-site sanitary sewer improvements in a section of Old Goodman Rd. located approximately ½ mile west of the subject property. However, this would not likely be required until a “Future Development” phase.

#### **4) Access & Circulation:**

Historically, on June 20, 2006, the Board of Aldermen approved a Preliminary Plan / Plat to subdivide the property into 12 commercial lots, with a similar road configuration connecting Old Goodman Rd. to Hacks Cross Road (*Exhibit 4*). Approval included signals at both the intersection of Old Goodman Rd. / HWY 302 and at the intersection of the proposed new roadway and Hacks Cross.

A new road to be constructed in phases would connect Hacks Cross Rd to Old Goodman Rd, which in turn connects to Branch Rd. Internal ingress and egress easements would connect lots 1 to 4. Only one lot intended for a 40,000sq ft grocery store would be developed in the first phase of the subdivision. The driveway closest to Hacks Cross Rd for this grocery store would be right-in-right-out only. Before any lot in the “Future Development” phases is developed, it is recommended that the developer submit a traffic study that should address whether traffic light signal(s) would be needed at the intersection of the new road and Hacks Cross Rd and Old Goodman Rd and Hwy 302.

#### **NEXT STEPS:**

Upon approval of a Preliminary Plat, the City Engineer is authorized to approve civil plans for installation and relocation of project infrastructure (i.e. roads and utilities). In turn, infrastructure installation can commence. A Final Plat must be reviewed by the Planning Commission and approved by the Board of Aldermen and recorded for building permits can be issued for vertical construction on any of the proposed lots. Unless the developer desires otherwise while meeting subdivision regulations, the Phase 1 Final Plat would include one (1) commercial lot a Phase 1 public street section, a stormwater detention area, and cross access transportation easements.

#### **STAFF RECOMMENDATION:**

Upon finding that the plat meets zoning ordinance and subdivision regulation requirements, approve and recommend that the Board of Aldermen approve the Preliminary Plat for “The Crossings at Olive Branch Subdivision” to subdivide 43.2+/- acres into 8 commercial lots, three (3) common open spaces for stormwater management, and private ingress/egress easements, subject to the following conditions:

1. Improvements to be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future applications shall comply with the City’s land development regulations.

3. Civil plan set for grading, drainage, roads and utilities to be approved by the City Engineer.
4. The northernmost access for proposed Lot 1 is limited to right-in-right-out only for passenger vehicles and no additional driveways along Hacks Cross Rd. are permitted for Lots 2 & 3.
5. HWY 302 sidewalks are waived, but sidewalks are required along the frontages of Hack Cross Road, Old Goodman Road, and Branch Road, and both sides of the new public street and all internal private drives, with curb and gutter sections as determined by the City Engineer.
6. Prior to the development of any lot other than prospective Lot 1, the developer shall submit to the City of Olive Branch a traffic impact analysis, including signal warrant analysis, to determine whether and when traffic light signals may be required at the intersection of the new public street and Hacks Cross Rd., and Old Goodman Rd and Hwy 302. The study shall likewise determine any other road improvements that may be needed within and off-site to handle the transportation impact of the subdivision at partial or full build out.
7. The developer shall install drainage pipe, erosion control material, sewer mains and service, water mains, fire hydrants, and services, curb and gutter for all streets, and gravel or soil cement base for the streets and asphalt (layering and thickness to be determined by City Engineer), before the plat of the subdivision is recorded as may be determined to be necessary of the City Engineer. A performance guarantee must be filed for the remainder of the improvement in the amount set by the City Engineer. This may include but is not necessarily limited to additional asphalt and sidewalks.
8. Streetlight plans to be submitted to the City Engineer for approval.
9. Street identifications and traffic control signs to be installed by the developer to City specifications.
10. With the exception of the existing overhead electrical facilities that may be re-routed, all other utilities and services (electric, telephone, cable, etc.) to be installed underground.

**REPORT PREPARED BY:** Venard Asongayi, AICP, CFM, DPA  **DATE:** 12/04/2025

**MOTION BY:** \_\_\_\_\_ **SECOND BY:** \_\_\_\_\_

	<b>VOTE</b>	<b>DORR</b>	<b>JONES</b>	<b>LEWIS</b>	<b>LONG</b>	<b>SENGER</b>	<b>SINGH</b>	<b>STRATTON</b>
	YES	_____	_____	_____	_____	_____	_____	_____
	NO	_____	_____	_____	_____	_____	_____	_____
	ABSTAIN	_____	_____	_____	_____	_____	_____	_____

# AERIAL VIEW MAP



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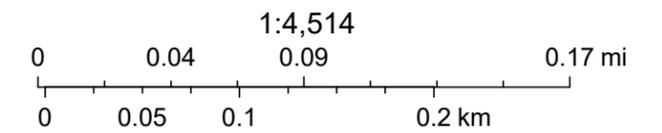
Tax Parcels

- <all other values>
- PRELIMINARY 2024 LANDROLL
- PRELIMINARY 2025 LANDROLL

Roads

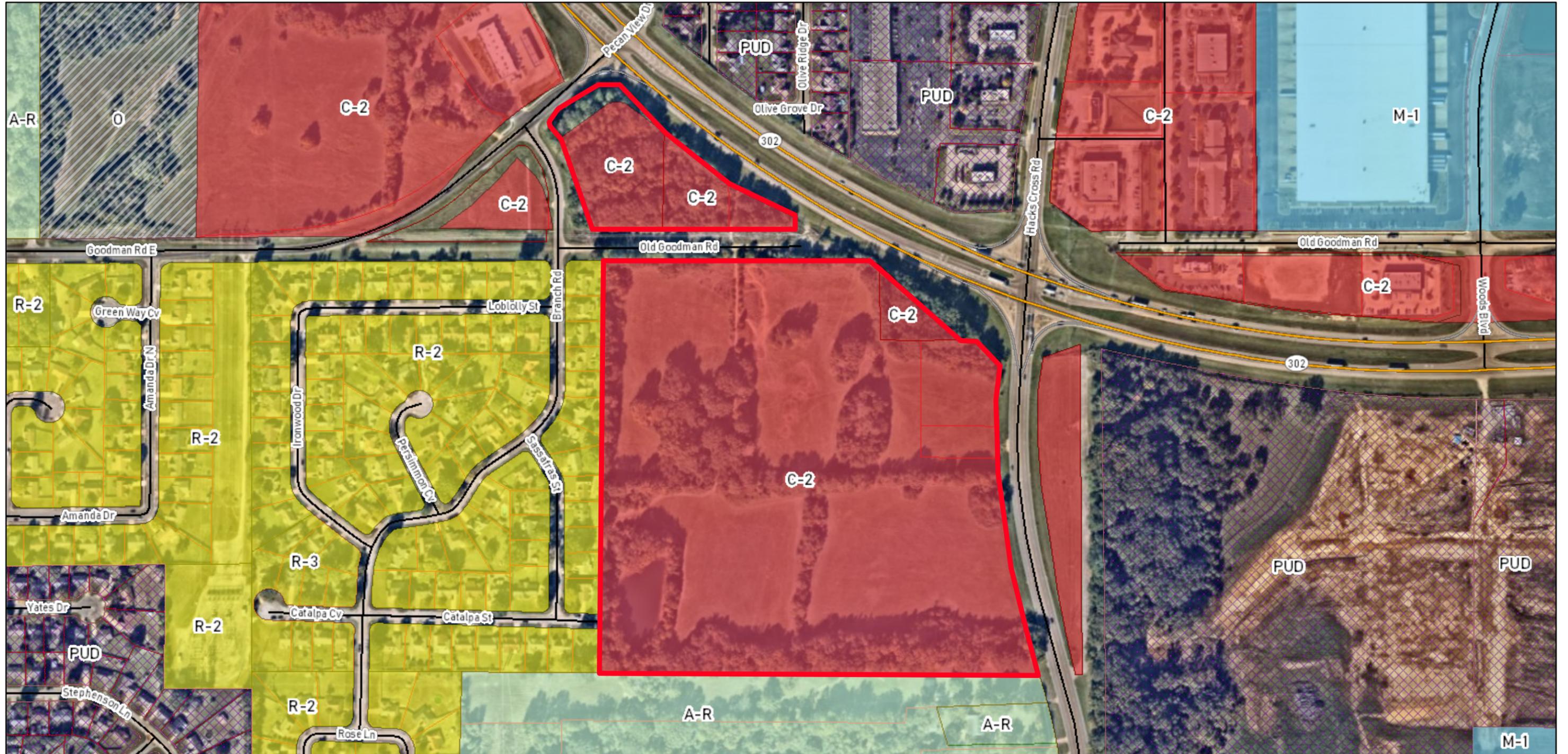
- Interstate
- US Highway
- State Highway

- Local Road
- Private Road
- Ramp
- IH



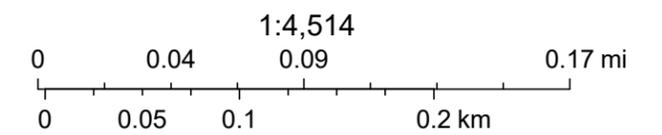
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user

# ZONING MAP



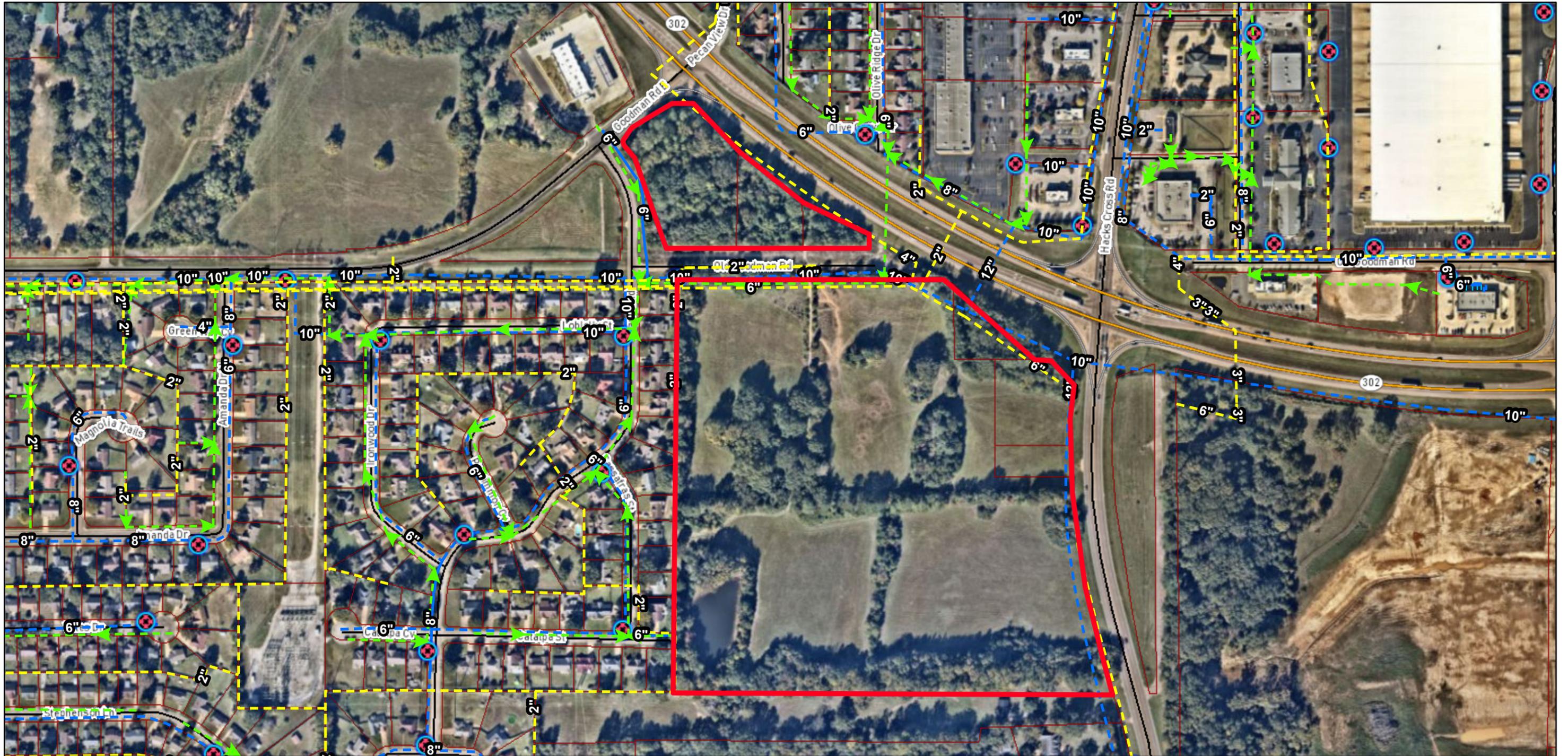
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<b>Zoning</b>	CM OVERLAY	PB	R-12 OVERLAY	R-30 OVERLAY	R-9
A	ER	PBP	R-15	R-4	RM-6
A-R	HISTORIC DISTRICT OVERLAY	PO	R-15 OVERLAY	R-40	RM-8
A-R OVERLAY	M-1	PUD	R-2	R-40 OVERLAY	RO
C-1	M-2	PUD OVERLAY	R-20	R-6	<b>Tax Parcels</b>
C-2	M-3	R-1	R-20 OVERLAY	R-6 OVERLAY	<all other values>
C-3	MAIN STREET DISTRICT	R-10	R-3	R-8	PRELIMINARY 2024 LANDROLL
C-4	O	R-12	R-30	R-8 OVERLAY	PRELIMINARY 2025 LANDROLL
C-5					<b>Roads</b>
					Interstate
					US Highway
					State Highway
					Local Road
					Private Road
					Ramp
					IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastatyslsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user

# UTILITY MAP



12/4/2025, 12:33:18 PM

GAS MAIN LINES

Not Field Verified

SEWER GRAVITY MAIN

NOT FIELD VERIFIED

HYDRANTS

WATER MAINS

FIELD VERIFIED

NOT FIELD VERIFIED

WATER SERVICE LINES

Tax Parcels

<all other values>

PRELIMINARY 2024 LANDROLL

PRELIMINARY 2025 LANDROLL

Roads

Interstate

US Highway

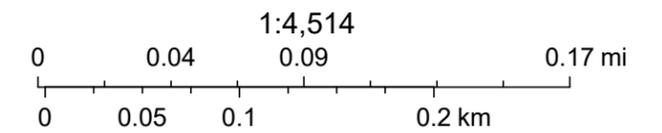
State Highway

Local Road

Private Road

Ramp

IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user



**OWNER'S CERTIFICATE**

I/We, **SAL SALEH, MANAGING MEMBER, BETHEL CRAFT INVESTORS LLC**, owner or authorized representative of the owner of the property, hereby adopt this as my/our plan of subdivision and dedicate the right-of-way for the use of roads and utility easements as shown on the plat of the subdivision to the City of Olive Branch, Mississippi, for the public use forever. I certify that I am the owners in fee simple of the property and that no taxes have become due and payable. This the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Signature of owner or authorized representative  
**SAL SALEH, MANAGING MEMBER, BETHEL CRAFT INVESTORS LLC**

**NOTARY'S CERTIFICATE**

State of **TENNESSEE**  
 County of **SHELBY**

Personally appeared before me, the undersigned authority in and for the said county and state, on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, within my jurisdiction, the within named **SAL SALEH, MANAGING PARTNER, BETHEL CRAFT INVESTORS LLC**, who acknowledged that he/she executed the above and foregoing certificate, for the purpose therein mentioned.

Notary public \_\_\_\_\_ My commission expires \_\_\_\_\_

**MORTGAGEE'S CERTIFICATE**

\_\_\_\_\_, Mortgagee of the property hereon, hereby adopt this as our plan of subdivision and dedicate the right-of-way for the roads and utility easements as shown on the plat to the City of Olive Branch, Mississippi, for public use forever. I certify that I am the mortgagee in fee simple of the property and that no taxes have become due and payable, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Signature of owner or authorized representative \_\_\_\_\_

**NOTARY'S CERTIFICATE (Corporate/Financial Institution)**

State of **TENNESSEE**  
 County of **SHELBY**

Personally appeared before me, the undersigned authority in and for the said county and state, on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, within my jurisdiction, the within named \_\_\_\_\_, who acknowledged that he/she is \_\_\_\_\_ of \_\_\_\_\_, and that for and on behalf of the said corporation, and as its act and deed he/she executed the above and foregoing certificate, after first having been duly authorized by said corporation so to do.

My commission expires \_\_\_\_\_ Notary public \_\_\_\_\_

**CERTIFICATE OF SURVEY**

This is to certify that I have drawn this subdivision shown hereon and that the plat of same is accurately drawn from information from a ground survey by me.

Signature of Engineer/Land Surveyor (with license number) \_\_\_\_\_ Date / Seal \_\_\_\_\_

**OLIVE BRANCH PLANNING COMMISSION**

APPROVED BY THE OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, PLANNING COMMISSION ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CHAIRPERSON \_\_\_\_\_

**OLIVE BRANCH MAYOR AND BOARD OF ALDERMEN**

APPROVED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

MINUTE BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

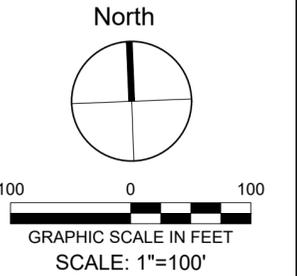
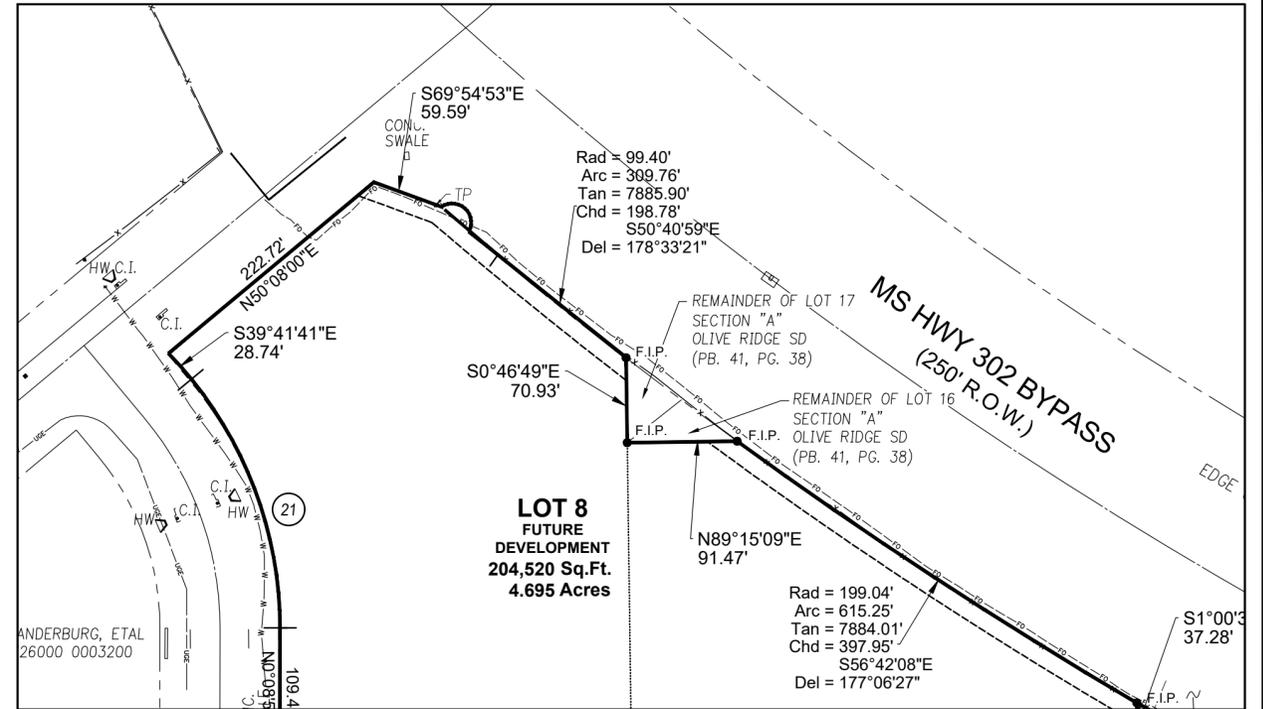
MAYOR \_\_\_\_\_

CITY CLERK \_\_\_\_\_

**STATE OF MISSISSIPPI  
 COUNTY OF DESOTO**

I hereby certify that the subdivision plat shown hereon was filed for record in my office at \_\_\_\_\_ o'clock \_\_\_\_\_ m, on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, and was immediately entered upon the proper index and duly recorded in Plat Book Number \_\_\_\_\_, Page \_\_\_\_\_.

CHANCERY COURT \_\_\_\_\_



No	RAD	ARC	TAN	CHORD	DELTA		
1	150.00'	54.39'	27.50'	54.10'	110°29'19"W	20°46'36"	
2	1969.86'	252.06'	126.20'	251.89'	S00°17'05"W	7°19'53"	
3	1969.86'	399.49'	200.43'	398.80'	S09°11'27"E	11°37'10"	
4	30.00'	46.93'	29.80'	42.29'	S30°11'12"W	89°37'31"	
5	300.00'	131.18'	66.66'	130.14'	S87°31'34"W	25°03'12"	
6	30.00'	32.36'	17.96'	30.82'	N49°02'33"W	61°48'35"	
7	112.00'	119.45'	66.11'	113.86'	N48°41'24"W	61°06'16"	
8	112.00'	151.61'	89.98'	140.30'	S61°58'42"W	77°33'32"	
9	30.00'	35.09'	19.86'	33.12'	S56°42'21"W	67°00'50"	
10	325.00'	85.36'	42.92'	85.11'	N82°15'48"W	15°02'52"	
11	325.00'	423.47'	247.83'	394.14'	N37°24'41"W	74°39'21"	
12	375.00'	49.31'	24.69'	49.28'	S03°51'02"E	7°32'04"	
13	375.00'	121.18'	61.12'	120.65'	S16°52'30"E	18°30'52"	
14	375.00'	201.40'	103.19'	198.99'	S41°31'06"E	30°46'19"	
15	375.00'	215.22'	110.66'	212.28'	S73°20'44"E	32°52'58"	
16	30.00'	35.30'	20.01'	33.29'	S56°04'56"E	67°24'34"	
17	112.00'	238.80'	202.74'	196.07'	S83°27'37"E	122°09'55"	
18	30.00'	33.82'	18.96'	32.06'	N67°45'18"E	64°35'44"	
19	300.00'	131.18'	66.66'	130.14'	N87°31'34"E	25°03'12"	
20	30.00'	47.12'	30.00'	42.43'	S60°00'02"E	90°00'00"	
21	322.84'	224.51'	117.01'	220.01'	N19°46'22"W	39°50'39"	



**PRELIMINARY PLAT**  
**The Crossings at Olive Branch Subdivision**  
 SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 WEST OLIVE BRANCH, MISSISSIPPI  
 SOUTHWEST CORNER OF MS HWY. 302 and HACKS CROSS ROAD ZONING: C-2  
 NO. OF LOTS: 7 ± 41.5 ACRES PARCELS: 106735000 0002800 & 2802; 106735320 0000100 & 0000200; 106726000 00003300, 3400 & 3500  
 OWNER: COOPER REALTY INVESTMENTS, INC. ET AL ENGINEER: THE REAVES FIRM  
 NOVEMBER 2025 SCALE: 1" = 100' SHEET 2 OF 2

JOB # 25-0182

Christine 20x24 Z:\2025\05-1824 lac SVC Hacks Cross & Highway 302 Olive Branch MS\01 Prelim Planning\01 Prelim Plat.dwg Nov 13, 2025 - 11:55am

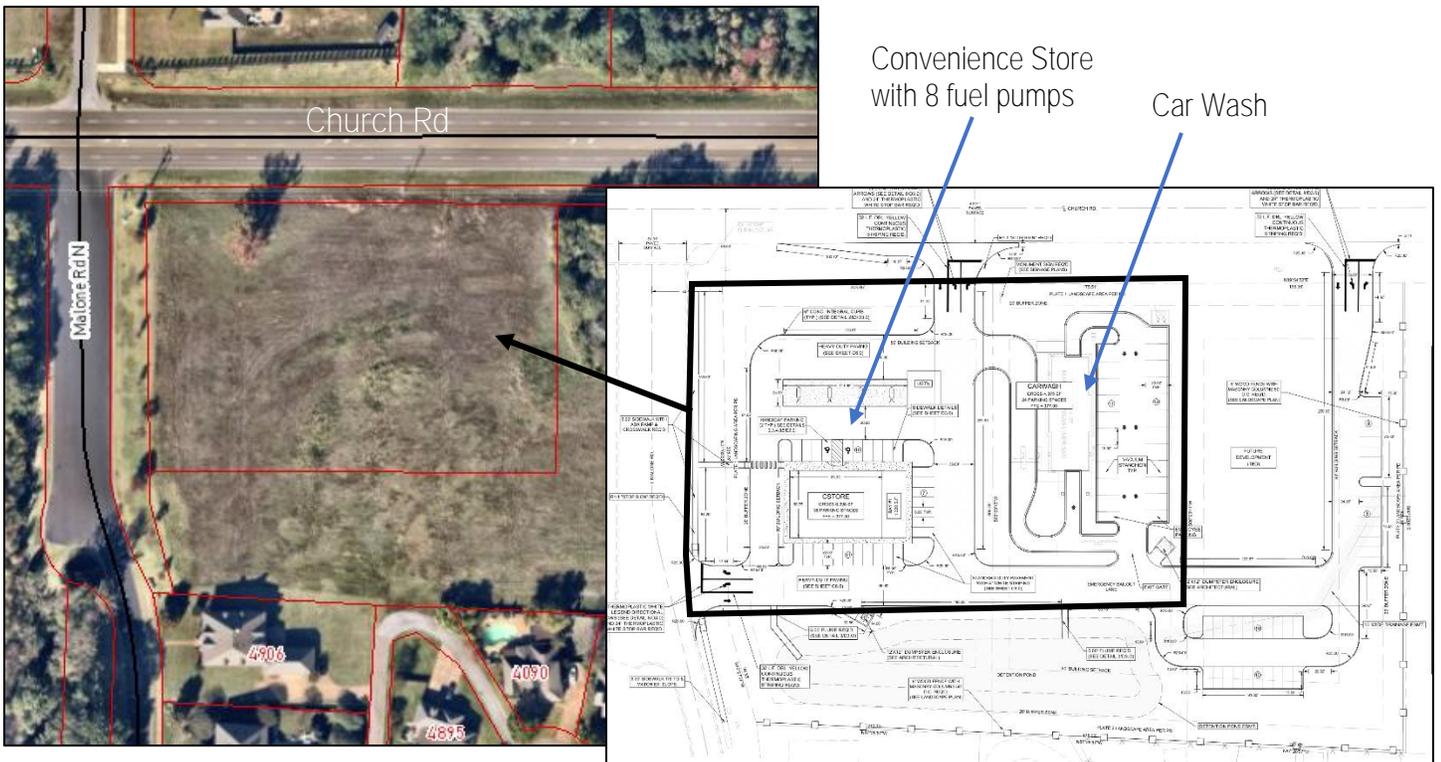


**REPORT TO THE PLANNING COMMISSION**

**CAPTION / SUBJECT:** Application to Amend the Project Text for Robinson Crossing PUD and preliminary development plan for Area 9, submitted by Shane King, Houston Engineering, on behalf of property owners Barry Bridgforth and Pleasant Hill Land and Development Company. The request includes development stipulations for permitted convenience store with fuel pumps and layout plan for car wash as a standalone use. The 5.72+/-acre subject Area 9 is zoned PUD, Planned Unit Development, and is located at the southeast corner of Church Road and Malone Road. (File # PD-25-0001).

- EXHIBITS:**
1. Aerial View Map
  2. Project Text with Proposed Amendments (in Blue) and Preliminary Development Plan Exhibits
  3. Current Zoning Map

**EXECUTIVE SUMMARY:** Barry Bridgforth and Pleasant Hill Land and Development Company seek to amend the project text for Robinson Crossing Planned Development and to adopt a preliminary development plan for a convenience store with fuel pumps and a car wash as stand-alone permitted uses on two prospective lots in Area 9 of the PUD. The proposed amendment does not seek to introduce new uses in the said Area 9; both the convenience store with fuel pumps and the car wash are already permitted in the Area, albeit the latter being accessory to the former. The amendment simply seeks to decouple the two uses and to impose certain development conditions. These suggested conditions for the convenience store with fuel pumps include but are not limited to traffic light signalization of the Malone Rd and Church Rd intersection and no issuance of a building permit for construction of the store prior to January 20, 2036. The architectural design of the store would also be more aligned with the character of houses in the surrounding. Thus, staff recommends approval.



**1. BACKGROUND:**

<b>General Information</b>	
Applicant	Shane King, Houston Engineering
Applicant's Status	Agent Representative of Property Owner
Zoning of Property	PUD, Planned Unit Development
Requested Action	Approve amendments to the Robinson Crossing Planned Development project text and preliminary development plans for a convenience store with fuel pumps and a car wash in Area 9 of the PUD.
Subject Property	Current 2.60 acres Lot 1 of Area 9 of Robinson Crossing Commercial Subdivision, with an access drive through a 3.12 acres Lot 2 of the same Subdivision.
Existing Land Use	Vacant

**History of Approvals**

Replacing the “Annebelle” Planned Unit Development (PUD) from 2003, Robinson Crossing was approved by DeSoto County Board of Supervisors on March 3, 2004 and annexed into Olive Branch effective May 28, 2021. The PUD is 231.60+/- acres and is located at the southeast corner of Malone and Church Roads. The PUD Master Plan depicts 9 “Areas”. Areas 1-7 were planned for single family and at this juncture of project development, there are over 300 platted single-family lots and approximately 250 homes have been built, meaning there are likely over 500 residents in the Robinson Crossing neighborhood. Development has yet to occur in Area 8, which is planned for retirement housing, and in Area 9, which is the 5.72+/- acres located at the southeast corner of the intersection of Church and Malone Roads that is proposed in this application for a 2-lot commercial subdivision.

Permissible uses in Area 9 were established in the 2004 Robinson Crossing PUD Project Text. The 2004 list is recopied, below, and includes “convenience store” and “Car wash as an accessory to convenience store” as permitted uses.

- H. Area 9  
 Uses shall be permitted and regulated in the “C-4” Planned Commercial District as modified herein. The following uses shall be permitted:
- |   |   |
|---|---|
| Art studio                                    | Restaurants with indoor seating and without drive-in or drive-thru facilities                                       |
| Bakery, retail                                | Retail shop sales and services  |
| Bank, financial services, savings and loans   | Public service facility   |
| Beauty/barber shop                            | Church  |
| Book store                                    | Daycare centers   |
| Convenience store                             | Post office or postal facility  |
| Car wash as an accessory to convenience store | All Areas   |
| Doctor's office                               | Churches and places of worship shall be allowed within all areas of development with direct access to a major road. |
| Drug store or pharmacy                        |   |
| Dry cleaning pickup station                   |   |
| Music/dance studio                            |   |
| Office  |   |
| Personal service establishment                |   |
| Photo finishing                               |   |
| Photo finishing pickup station                |   |
| Photography studio                            |   |
| Print shop not exceeding 2,500 square feet    |   |

The lot area does not conform to the minimum lot area of at least 1 ac for AR zoned properties. To conform with the minimum lot area requirements, the property must be rezoned to a district where the lot size would meet the minimum area requirement. Annexation history shows the City of Olive Branch annexed this property in 1990. An affidavit of posting has been filed as well as photographic documentation of the public-notification sign installation.

On November 15, 2022, the Board of Aldermen adopted regulations that amended several of the City’s “conventional” zoning districts (C-1, C-2, C-3, C-5, M-1, & M-2) to only allow “Convenience Stores with Fuel Pumps” as a conditional use. A conditional use requires approval of the City’s Board of Adjustment at a public hearing. The regulations included requirements for these establishments to be at a signalized intersection with no more than two at a four-way intersection. On December 17, 2024, the Board expanded the regulations to make “Convenience Stores with Fuel Pumps” conditional uses in the planned, “non-conventional” zoning districts (C-4 & PUD) and added design requirements. In a companion item, the Board amended Project Texts in 17 planned developments located throughout the City. The approval cited the Robinson Crossing PUD Project Text among the 17, stating, “5.72+/- acre “Area 9” of the Robinson Crossing Planned Unit Development (formerly Annabelle), located at the southeast corner of Malone Rd. and Church Rd...to remove “Convenience Store” from the list of permitted uses and add “Convenience Store with Fuel Pumps” as a conditional use.”

Because there were convenience store development projects that had been underway prior to the 2022 ordinance and the 2024 revisions – whether they were actively in the planning stages or under construction – the 2024 amendment included vesting provisions. The regulations allowed for projects in phases of planning, review, permitting, or construction to meet vesting provisions. If vested, a project could avoid the requirement to obtain a conditional use permit and would not be subject to the locational criteria at signalized intersections and other design regulations added in 2024. Steps and timelines proposed to vest a project include having preliminary plat approval by June 30, 2025, final plat approved and recorded by September 30, 2025, obtaining civil site plan approval by December 31, 2025, building permit by March 31, 2026, and completing construction by March 31, 2027.

A final plat for Area of the Robinson Crossing Planned Commercial Development was approved by the Mayor and Board of Aldermen on July 15, 2025, and recorded on September 16, 2025. Currently, the said Area 9 remains vested for a convenience store with fuel pumps.

The present application seeks to maintain convenience store with fuel pumps as permitted use in Area 9 while subjecting it to various comparable conditions to those adopted for said use on December 17, 2024. A separate conditional use permit would not be necessary because in considering the proposed project text amendment and associated preliminary development plan, drawn to scale with architectural and landscaping designs, the Mayor and Board of Aldermen can exercise the full breadth of its zoning authority as applicable to the intended future developments.

## **ANALYSIS:**

### **1. Traffic**

Just as there are no development timing limitations in the current project text for Robinson Crossing, the text does not associate the development of a convenience store with fuel pumps in Area 9 of the subdivision with traffic conditions on adjoining roads. The proposed amendment cures this deficiency by providing that “*The City of Olive Branch shall not issue a building permit for the construction of the convenience store with fuel pumps prior to January 20, 2036, and traffic light signalization of the*

Malone Rd and Church Rd intersection.”

## 2. Design and Neighborhood Character

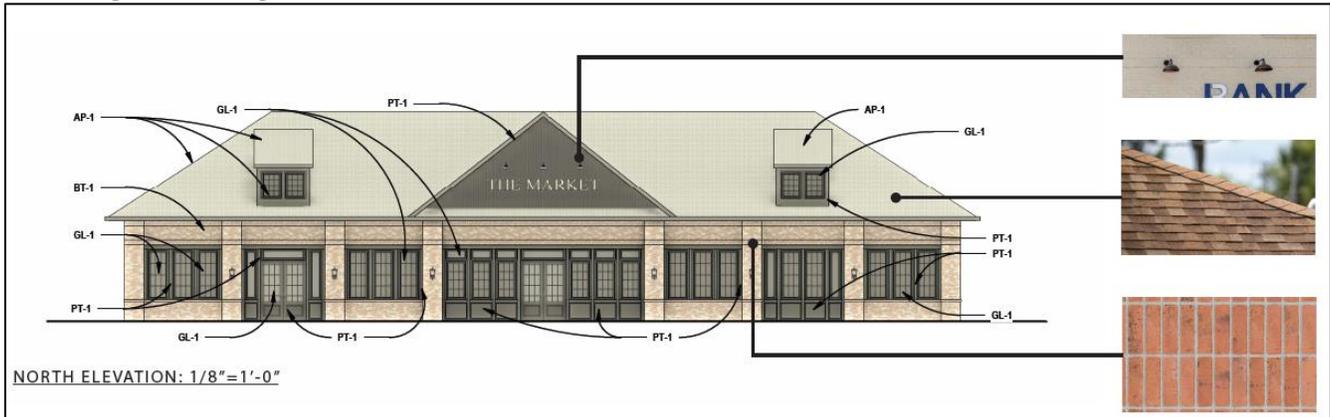


Fig. 1. Building Design of the Convenience Store with Fuel Pumps



Fig. 2. Building Design of the Car Wash

Apart from buffer requirements, the current project text for Robinson Crossing contains no stipulations regarding specific design elements for a convenience store with fuel pumps and a car wash, which may foster their alignment with the character of the area. The current text amendment, architectural provisions, and preliminary development plan layout, which includes a 344ft separation from nearest residential lot to the noisy dryer end of the car wash, would impose the following design requirements to achieve this objective:

- I. Limited to four (4) pumps/eight (8) fueling stations
- II. The fuel canopy shall have a maximum clearance of 15.5ft from the finished grade to the underside of the canopy

- III. *The site is permitted one free standing sign only, which shall be monument style, not more than 8ft high, and located within 40ft from the driveway of the convenience store with fuel pumps on Church Rd.*
- IV. *At least one electrical vehicle charging station shall be provided.*
- V. *The Preliminary Layout Plan for the convenience store with fuel pumps and adjoining car wash, provided herein at EXHIBIT Q shall be binding.*
- VI. *The fuel pumps canopy design included herein as EXHIBIT R shall be binding, except, however, that the columns may be constructed completely of brick material.*
- VII. *Architecturally, the convenience store with fuel pumps shall be constructed of a minimum 80% brick on all sides and shall have pitched roof of shingles material. EXHIBIT S and EXHIBIT T, which show the architectural design of the store and the car wash respectively, shall be binding.*

Regarding the car wash, it is worth noting that apart from the 60ft rear yard building setback, the current project text does not stipulate a additional separation distance from nearest residential property line to the noisy air dryer end of the car wash. The proposed binding preliminary development plan includes a 344.53ft separation. In a nutshell, the proposed project text amendment and associated preliminary development plans constitute significant development stipulation improvements relative to the current text.

**RECOMMENDED MOTION:** Based on the finding that the proposed project text amendments and associated preliminary development plans would incorporate traffic considerations in the timing of construction of a convenience store with fuel pumps in Area 9 of the Robinson Crossing Planned Development and mandate design features that would align the currently permitted convenience store with fuel pumps and car wash in the said Area with the character of surrounding developments, approve the said suggested amendments and preliminary development plans, and recommend same to the Mayor and Board of Aldermen.

---

**REPORT PREPARED BY:** Venard Asongayi, AICP, CFM, DPA  **DATE:** 12/03/2025

**MOTION BY:** \_\_\_\_\_ **SECOND BY:** \_\_\_\_\_

	<b>DORR</b>	<b>JONES</b>	<b>LEWIS</b>	<b>LONG</b>	<b>SENGER</b>	<b>SINGH</b>	<b>STRATTON</b>
	_____	_____	_____	_____	_____	_____	_____
	_____	_____	_____	_____	_____	_____	_____

# AERIAL VIEW MAP



12/3/2025, 6:00:59 PM

PointAddresses

County Outline

Tax Parcels

<all other values>

PRELIMINARY 2024 LANDROLL

PRELIMINARY 2025 LANDROLL

Roads

Interstate

US Highway

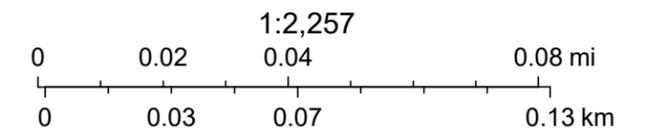
State Highway

Local Road

Private Road

Ramp

IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user



high standards anticipated by the residents of DeSoto County and to assure that all features and amenities of the neighborhood which are considered to be common assets are continuously maintained in a quality manner.

- F. The community will be developed so that it not only preserves and protects, but also in fact enhances surrounding property. Robinson Crossing will reflect sensitivity to adjacent land uses and encourage the highest quality development of the adjacent properties.
- G. It is anticipated that as the common areas of the community are developed, their Final Plans may incorporate water, landscaping, walking trails, and other design features which will contribute to an overall positive aesthetic appearance and provide for passive recreational alternatives for residents within the community.

### III. USES PERMITTED

- A. **Areas 1**  
Single-Family Detached Dwellings shall be permitted and regulated in the R-12 Single-Family Residential District as modified herein. Minimum area of lots shall be 12,000 square feet.
- B. **Areas ~~1~~, 2 and 3**  
Single-Family Detached Dwellings shall be permitted and regulated in the R-20 Single-Family Residential District as modified herein. Minimum area of lots shall be 20,000 square feet.
- C. **Area 4**  
Single-Family Detached Dwellings shall be permitted and regulated in the R-8 Single-Family Residential District as modified herein. Minimum area of lots shall be 8,000 square feet.
- D. **Areas 5 and 7**  
Single-Family Detached Dwellings shall be permitted and regulated in the R-12 Single-Family Residential District as modified herein. Minimum area of lots shall be 12,000 square feet.

- E. **Area 6**  
Single-Family Detached Dwellings shall be permitted and regulated in the R-10 Single-Family Residential District as modified herein. Minimum area of lots shall be 10,000 square feet.
- F. **Area 8**  
Retirement oriented housing to include single-family attached, detached zero lot line and townhouse condominium at 10 units per acre as regulated in the R-6 Residential Single-Family District as modified herein. The minimum area of lots for single-family detached dwellings shall be 8,000 square feet.
- G. **Area 8a**  
Uses shall be permitted and regulated in the "O" Office District as modified herein.
- H. **Area 9**  
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein. The following uses shall be permitted:
  - Art studio
  - Bakery, retail
  - Bank, financial services, savings and loans
  - Beauty/barber shop
  - Book store
  - Convenience store (See Article XIII.)
  - Car wash ~~as an accessory to convenience store~~
  - Doctor's office
  - Drug store or pharmacy
  - Dry cleaning pickup station
  - Music/dance studio
  - Office
  - Personal service establishment
  - Photo finishing
  - Photo finishing pickup station
  - Photography studio
  - Print shop not exceeding 2,500 square feet

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C. Minimum Building Setback for Non-Residential Uses

1. **Area 9**  
Commercial Uses
 

Minimum Front Yard Setback	50 feet
Minimum Side Yard Setback	
60 feet abutting a Residential District	
25 feet abutting a Commercial District	
Interior Side Yard	15 feet within interior
Minimum Rear Yard Setback:	
Interior, within site	15 feet
Abutting residential	60 feet

Retail Centers constructed as a contiguous building can be developed without the provision for any building side and rear yard setbacks and planting screen between non-residential uses.

2. **Area 8a**  
Office Uses
 

Minimum Front Yard Setback	50 feet
Setback Adjacent to Retail	30 feet
Setback Adjacent to Residential	40 feet

D. Maximum heights shall be as follows:

1. Residential Uses 35 feet
2. Commercial Uses 40 feet
3. Area 8a - Office Use 35 feet

E. Design standards for single-family detached residences:

1. For Areas 1, 2, 3, and 7 - The minimum heated square footage of a 1 or 2-story house will be 3,000 square feet. These areas are exclusive of open porches, garages, and basements.

2. For Areas 5 and 6 - The minimum heated square footage of a 1 or 2-story house will be 2,400 square feet. These areas are exclusive of open porches, garages, and basements.
3. For Area 8 (if developed as Single-Family Development) The minimum heated square footage will be 1,800 square feet. These areas are exclusive of open porches, garages, and basements.
4. Two-car garages shall be included in the construction of all single-family detached residences. All homes shall be constructed as 2/3 brick or masonry finish.

V. ROADWAYS, ACCESS, PARKING, AND CIRCULATION

- A. Church Road shall be dedicated 53 feet from the centerline in accordance with the DeSoto County Subdivision Design Standards at the time final plans of contiguous developments are approved.
- B. Malone Road shall be dedicated 40 feet from the centerline. Where existing trees are to be retained, Malone Road shall be dedicated 97 feet from the centerline with the first 50 feet to be included as a median to retain existing trees. For typical roadway section incorporating median, see Plate 3.
- C. All internal public streets shall be dedicated and improved in accordance with the DeSoto County Subdivision Design Standards, as modified herein.
- D. Roadways within Areas 1, 2, and 3 and the major arterial roads shall be constructed without curb and gutter improvements. For typical roadway section, see Plate 2.
- E. Parking and loading spaces shall be in accordance with the Zoning Regulations requirements.
- F. All dedicated public improvements required herein shall be made to the specifications of DeSoto County.

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VI. LANDSCAPING, SCREENING, AND OPEN SPACE

- A. All common open space areas are to be preserved and maintained by a Property Owner's Association. At the time the final plan is submitted, the articles of incorporation and by laws of the Property Owner's Association shall be submitted to staff for review.
- B. Open space/common areas within Robinson Crossing include approximately 36.51 acres of common open space. This totals 16.16% of the gross residential portion of the project area.
- C. To enhance the aesthetics of public views within neighborhood retail and office areas, the streetscapes along Church Road, and Malone Road shall consist of a streetscape planting area at least 20 feet in width (See Plate 1.) measured from the street right-of-way or property line.
- D. Streetscape area along Church Road shall be a minimum of 50 feet in width as indicated on the Outline Plan. (See Plate 3.)
- E. Landscaping internal to the parking lots for non-residential uses shall provide one shade tree per twenty parking spaces.
- F. A minimum 20-foot planting screen, Plate 2, shall be provided between any non-residential use and residential use and between any townhouse and retirement housing and single-family detached dwelling.
- G. To further enhance the neighborhood-like setting of the development, a premium will be placed on the preservation of the natural tree cover and other unique characteristics of the landscape. This is deemed necessary in order to maintain a sense of natural amenity and to preserve the intrinsic environmental values and continuity of mature, native tree cover as a wildlife habitat and as a protection against erosion and contamination by runoff on the site. Particular attention shall also be given to grade changes and other work adjacent to the trees designated to be preserved. Existing

grades, drainage, and aeration shall be maintained around the trees to remain during site preparation and construction. Trees designated to remain shall be protected with a temporary barrier so trees to be saved are not inadvertently removed, damaged or destroyed during site preparation and/or construction.

- H. Medians, streetscape areas, and neighborhood greens shall be maintained by the Property Owners Association.
- I. All required landscaping should not conflict with utility easements.
- J. Refuse containers and loading areas shall be reasonably screened from view of adjacent public roadways and residential properties.
- K. All electrical installations excluding 3 phase or higher shall be underground.
- L. All construction improvements within the development shall be in compliance with erosion and sediment control guidelines and ordinances of DeSoto County and the State of Mississippi.
- M. The Planning Commission and the Board of Supervisors may make minor modifications at the request of the Developer to the bulk, access, parking and circulation, signage, lighting, landscaping and other site design requirements if equivalent alternatives are provided; however, the Planning Commission shall not increase the intensity or modify uses permitted on the property without the approval by the DeSoto County Board of Supervisors.

VII. SIGNS

- A. Signage for residential areas shall be in conformance with the R-Residential District regulations of the DeSoto County Zoning Regulations.
- B. Signage for Area 9 shall be in conformance with the C-1 Neighborhood Commercial District Regulations.

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- C. Signage for Area 8a shall be in conformance with the "O" Office District Regulations.
- D. The minimum sign setback from any public right-of-way shall be 15 feet, excluding directional and traffic signs.
- E. Portable and temporary signs shall not be permitted except temporary construction and realtor signs shall be permitted.

VIII. DRAINAGE FACILITIES AND SERVICES

- A. The stormwater drainage system shall be designed and constructed to the drainage design standards of DeSoto County. As designed, the post development flow shall not exceed the pre-development flow. Other required environmental protection agency (EPA) structures, such as silt fences, hay bale walls, etc. will be used to minimize silt run-off during construction.
- B. A Storm Water Pollution Prevention Plan (SWPP) will be filed with the state authorities prior to commencement of construction.
- C. The drainage plan submitted to the County Engineer must include a written determination from the Mississippi Department of Health and Environment regarding their jurisdiction over watercourses on this site.
- D. All public storm drainage shall require a public easement.
  - 1. The following note shall be placed on the final plat of any development requiring on-site drainage facilities: The areas denoted by "Reserved for Stormwater Retention" shall not be used as a building site or filled without first obtaining written permission from the County Engineer. Stormwater detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the respective property owner. Such maintenance shall be performed so as to insure that the system operates in accordance with the approved plan on file

in the County Engineer's office. Such maintenance shall include, but is not limited to, removal of sedimentation, fallen objects, debris, trash mowing, outlet cleaning and repair of drainage structures.

IX. SANITARY SEWER

- A. A Master Sanitary Sewer Concept Plan shall be submitted at the time Phase One Site Plan is submitted for review and approval. The City of Southaven will provide sanitary sewer service.
- B. The Developer, in accordance with specifications of DeSoto County and the State of Mississippi, shall provide all sewer lines within the development.
- C. Sizes of sanitary sewer lines shall be determined at the time the final construction plans are submitted to the County Engineer.

X. WATER SERVICE

- A. Public water shall be provided by Pleasant Hill Water Association.
- B. All water services shall be constructed in compliance with DeSoto County and the State of Mississippi regulations.

XI. DEVELOPMENT PHASING

- A. It is anticipated that the project will be developed in phases together with a proposed timetable as illustrated on Exhibit J, Preliminary Development Phasing Plan. It is understood that the Preliminary Phasing Plan is subject to change by way of market demands and the general overall economy.

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<u>Phase</u>	<u>Time Table</u>
1	2004
2	2005
3	2005
4	2006
5	2006
6	2007
7	2007
8	2008

- B. Each phase shall be so planned and so related to existing surrounding and available facilities and services that failure to proceed to the subsequent phases will not have an adverse impact on the development of its surroundings at any stage of the development.
- C. A final site plan/plat for each phase shall be made in accordance with the DeSoto County Zoning Ordinance and Subdivision Regulations. A final plan for each area or portion thereof shall be submitted for review by the DeSoto County Planning Commission in order to establish that it substantially conforms to the conditions of the Outline Plan.

**XII. IMPACT ON COMMUNITY FACILITIES**

The proposed development will increase demand on schools, roads, police, fire protection, and garbage collection.

The water system and fire hydrants shall be constructed in compliance with DeSoto County regulations and served by the area Fire Department.

Due to the proximity of the site to existing public facilities, the installation of required infrastructure by the Developer and the increased tax base of the dwellings planned, the public cost of the development to the County should be minimal.

Since much of the funding for public education arises from state allocation on an average daily attendance basis and County Ad Valorem taxes, the expenses related to education should be minimal.

**XIII. CONVENIENCE STORE WITH FUEL PUMPS**

- A. The City of Olive Branch shall not issue a building permit for the construction of the convenience store with fuel pumps prior to January 20, 2036 and traffic light signalization of the Malone Road and Church Road intersection.
- B. Limited to four (4) pumps/eight (8) fueling stations.
- C. The fuel canopy shall have a maximum clearance of 15.5ft from the finished grade to the underside of the canopy.
- D. The site is permitted one free standing sign only, which shall be monument style, not more than 8ft high, and located within 40ft from the driveway of the convenience store with fuel pumps on Church Road.
- E. At least one electrical vehicle charging station shall be provided.
- F. The Preliminary Layout Plan for the convenience store with fuel pumps and adjoining car wash, provided herein at EXHIBIT Q shall be binding.
- G. The fuel pumps canopy design included herein as EXHIBIT R shall be binding, except, however, that the columns may be constructed completely of brick material. Roofing material for canopy may be shingle or dark colored metal material.
- H. Architecturally, the convenience store with fuel pumps shall be constructed of a minimum 80% brick on all sides and shall have pitched roof of shingles or dark colored metal material. EXHIBIT S is a prototypical design regarding the roof geometry.
- I. A conditional use permit is not required for the convenience store with fuel pumps, which is hereby permitted in Area 9, only on the corner lot at the intersection of Malone Road and Church Road. This lot may be used for any other permitted use in Area 9, subject to administrative review and approval of construction plans by City Staff.

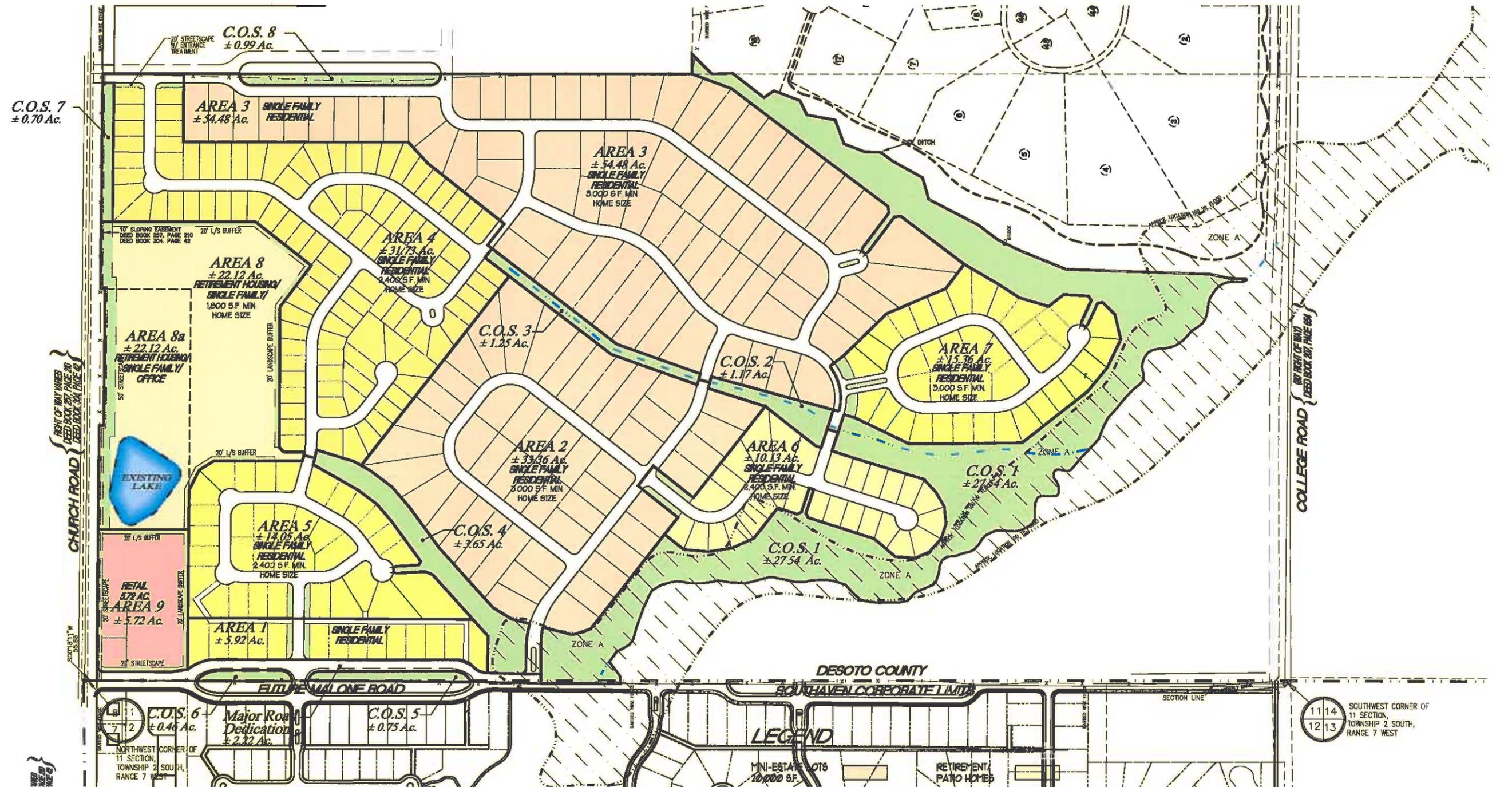
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 Author: [unclear]  
 Checked: [unclear]  
 Date: [unclear]  
 Project: [unclear]



# LAND USE PLAN EXHIBIT F



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JULY 1, 2005

NORTH

GRAPHIC SCALE  
SCALE IN FEET  
100 200 300

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## ROBINSON CROSSING

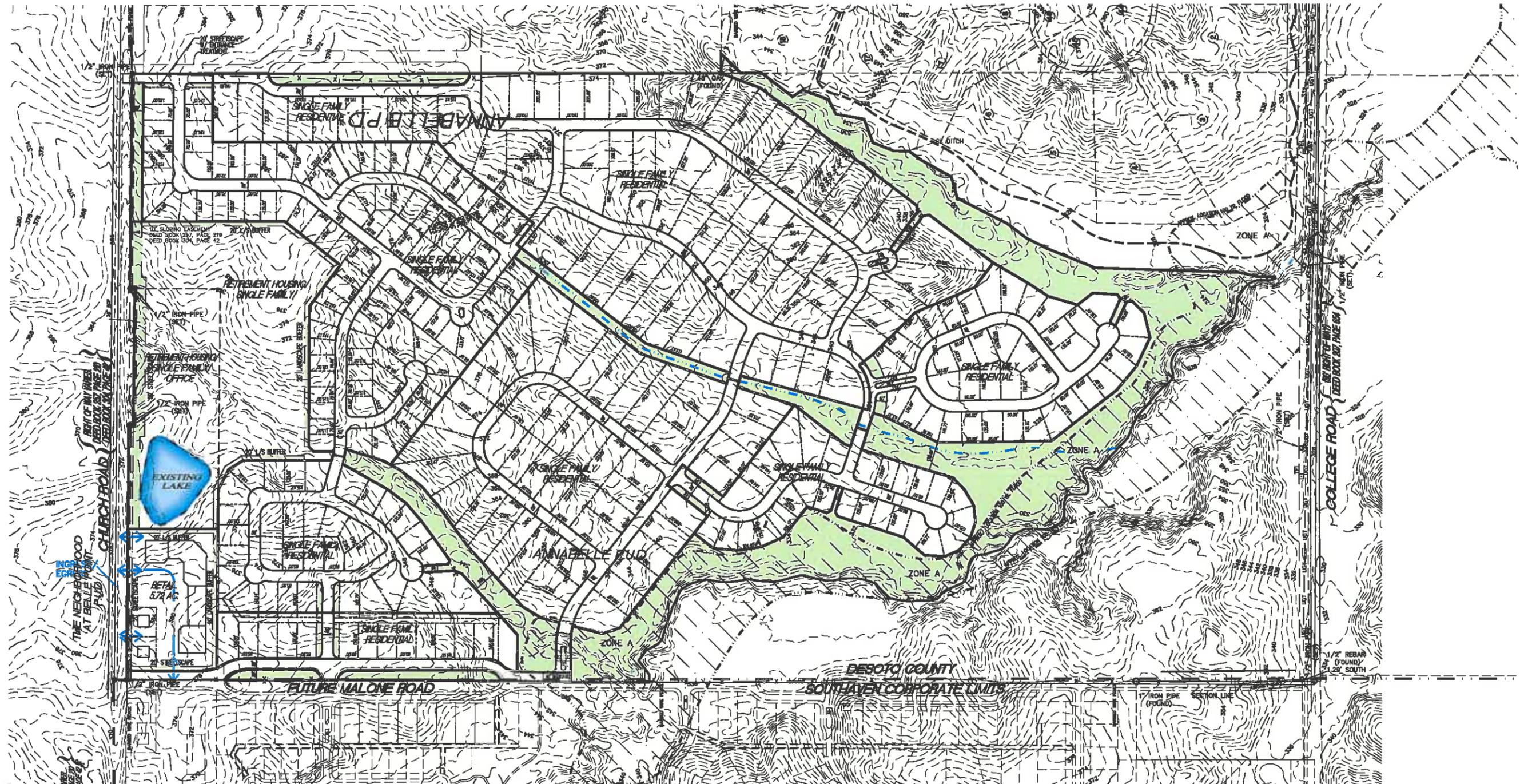
A PLANNED RESIDENTIAL DEVELOPMENT  
DESOTO COUNTY, MISSISSIPPI

Prepared For:  
Pleasant Hill Land and Development Company, Inc.  
1607 Main Street  
Southaven, MS 38671

Planning/Landscape Architecture  
DALHOFF THOMAS DAW'S  
6625 Lenox Park Drive • Suite 100  
Memphis, Tennessee 38115  
P-901-766-1600 F-901-766-1606



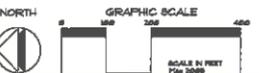
# PRELIMINARY SITE PLAN EXHIBIT G



### PLAN DATA

SITE AREA	231.60 AC.
RESIDENTIAL AREA	187.15 AC.
COMMON OPEN SPACE	36.51 AC.
MAJOR ROAD DEDICATION	2.22 AC.
RETAIL USE	5.72 AC.
HOMES	586
DENSITY	2.44 DU/AC

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Memphis, Tennessee 38115  
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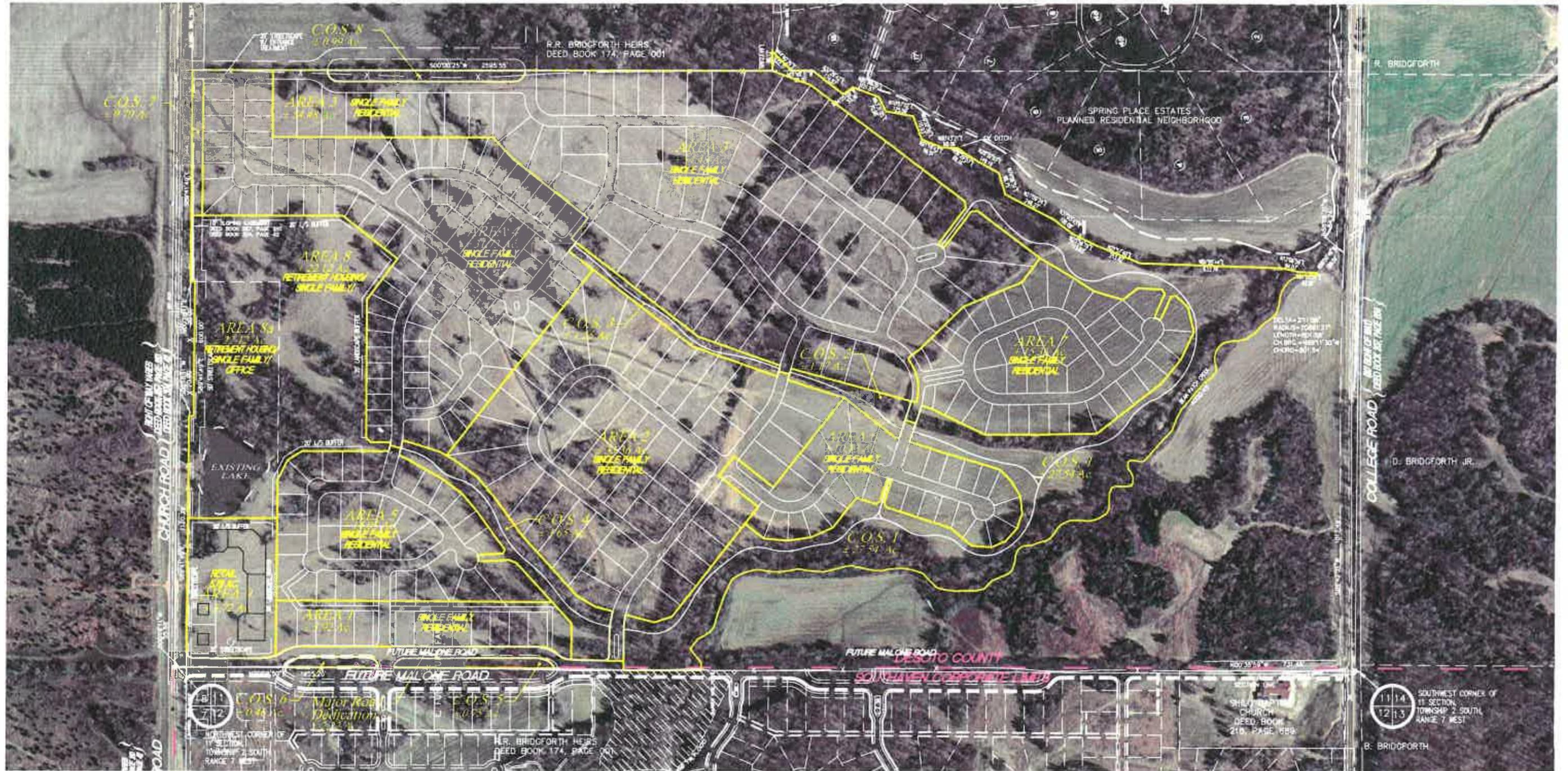


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# SITE PLAN WITH AERIAL PHOTOGRAPH EXHIBIT H



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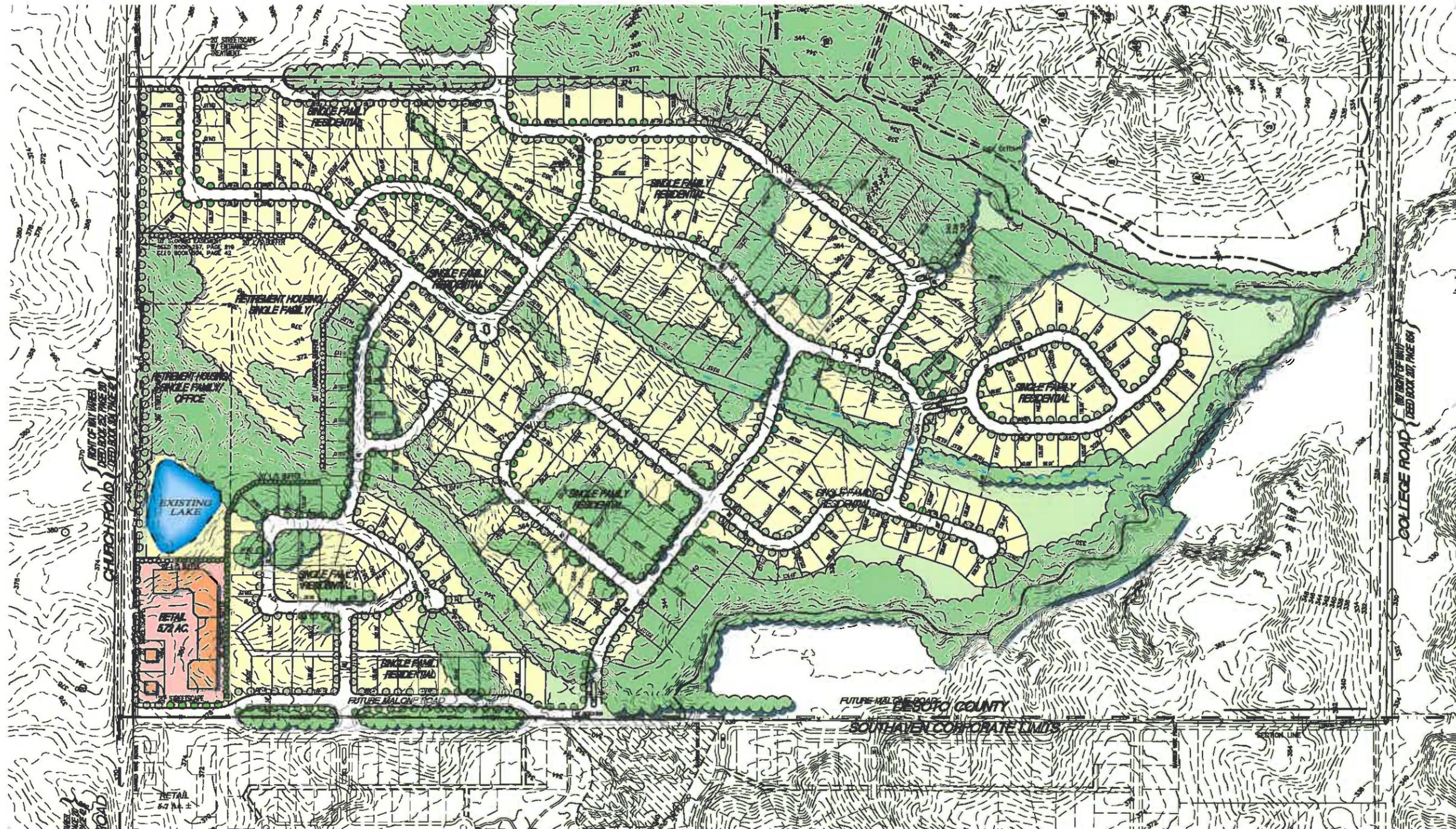
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DALHOFF THOMAS DAWS  
6625 Lenox Park Drive • Suite 100  
Memphis, Tennessee 38115  
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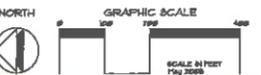
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DESOTO COUNTY, MISSISSIPPI

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Southaven, MS 38671

# MASTER PLAN ILLUSTRATION EXHIBIT I



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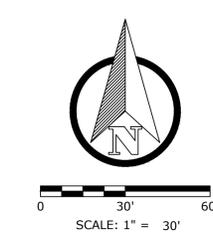
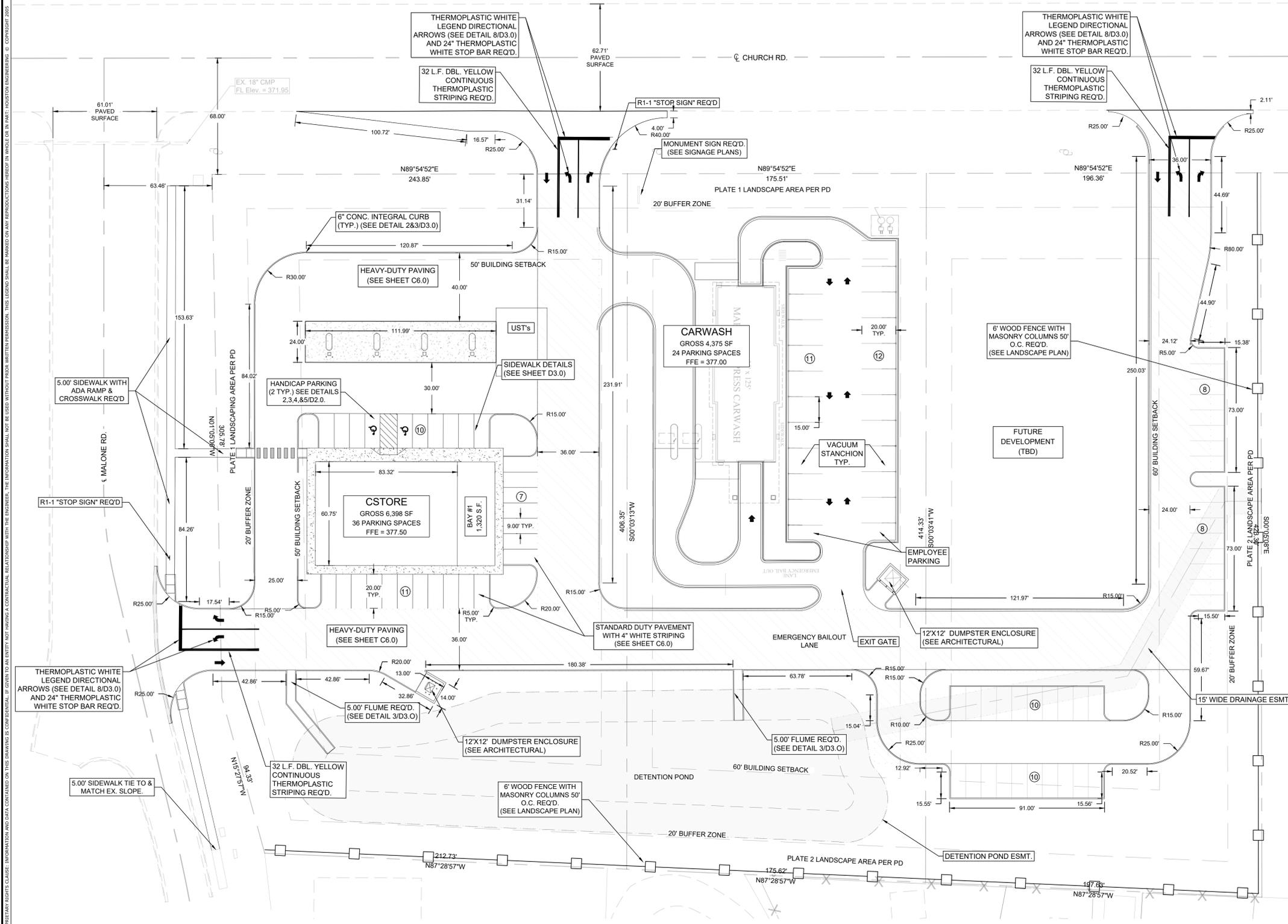


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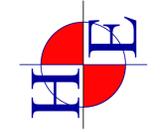
# EXHIBIT Q - PRELIMINARY DEVELOPMENT PLAN (LAYOUT)



- SITE PLAN NOTES:**
- PARKING SPACES PROVIDE: 36 WITH 2 HANDICAP SPACES.
  - THIS PROPERTY IS LOCATED IN ZONE "X", AN AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FIRM COMMUNITY PANEL NO. 28033C0091H DATED MAY 5, 2014.
  - FOR SITE LIGHTING REQUIREMENTS SEE ES-1.
  - DIMENSIONS SHOWN ALONG PROPERTY AND RIGHT-OF-WAY LINES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL POST OFFICE. IF A PHYSICAL MAILBOX IS REQUIRED, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION, PLACEMENT AND INSTALLATION.
  - CONTRACTOR SHALL INCLUDE ALTERNATE BIDS FOR CONCRETE AND ASPHALT PAVEMENT WHERE PAVEMENT TYPES ARE NOT SPECIFICALLY INDICATED.
  - SEE DETAIL 1/D4.0 FOR ADDITIONAL INFORMATION ON LIGHT POLE BASE.
  - ALL SIDE WALKS SHALL MEET CURRENT ADA AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL CONCRETE BASE AND CONDUITS FOR PARKING LOT LIGHTING. REFER TO ARCHITECTURAL PLANS FOR NUMBER AND PLACEMENT OF LIGHTS.
  - CONTRACTOR SHALL STUB CONDUIT AND WIRING TO THE MONUMENT SIGN AND IS RESPONSIBLE FOR FINAL POWER HOOK-UP.
  - NON-ADA PARKING SPACES AND STRIPING SHALL BE PAINTED REFER TO DETAIL FOR ADDITIONAL INFORMATION.
  - REFER TO ADA PARKING DETAIL FOR ADDITIONAL INFORMATION. ALL PAINTED PAVING MARKING SUCH AS LETTERING AND ARROWS SHALL BE PAINTED USING TEMPLATES.
  - ALL PAINTED ARROWS AND STOP BARS SHALL BE PAINTED USING THERMOPLASTIC REFLECTIVE MATERIALS.
  - UTILITY OWNERS:  
 WATER - CITY OF OLIVE BRANCH  
 SANITARY SEWER - CITY OF OLIVE BRANCH  
 ELECTRIC POWER - NORTHCENTRAL MISSISSIPPI EPA  
 TELECOM - CENTURYTEL OF NORTH MS, INC.  
 NATURAL GAS - CITY OF OLIVE BRANCH

**1** SITE LAYOUT PLAN  
 C3.0 SCALE: 1" = 30'

**HOUSTON ENGINEERING**  
 Engineering, Surveying, and Environmental Services  
 P.O. Box 3087  
 Oxford, Mississippi 38655  
 Phone: (662) 647-1312  
 E-mail: byron@houstonengr.com



**PLEASANT HILL LAND & DEV.**  
**ROBINSON CROSSING COMMERCIAL**  
 CHURCH ROAD, OLIVE BRANCH, MS 38654  
 SITE LAYOUT PLAN

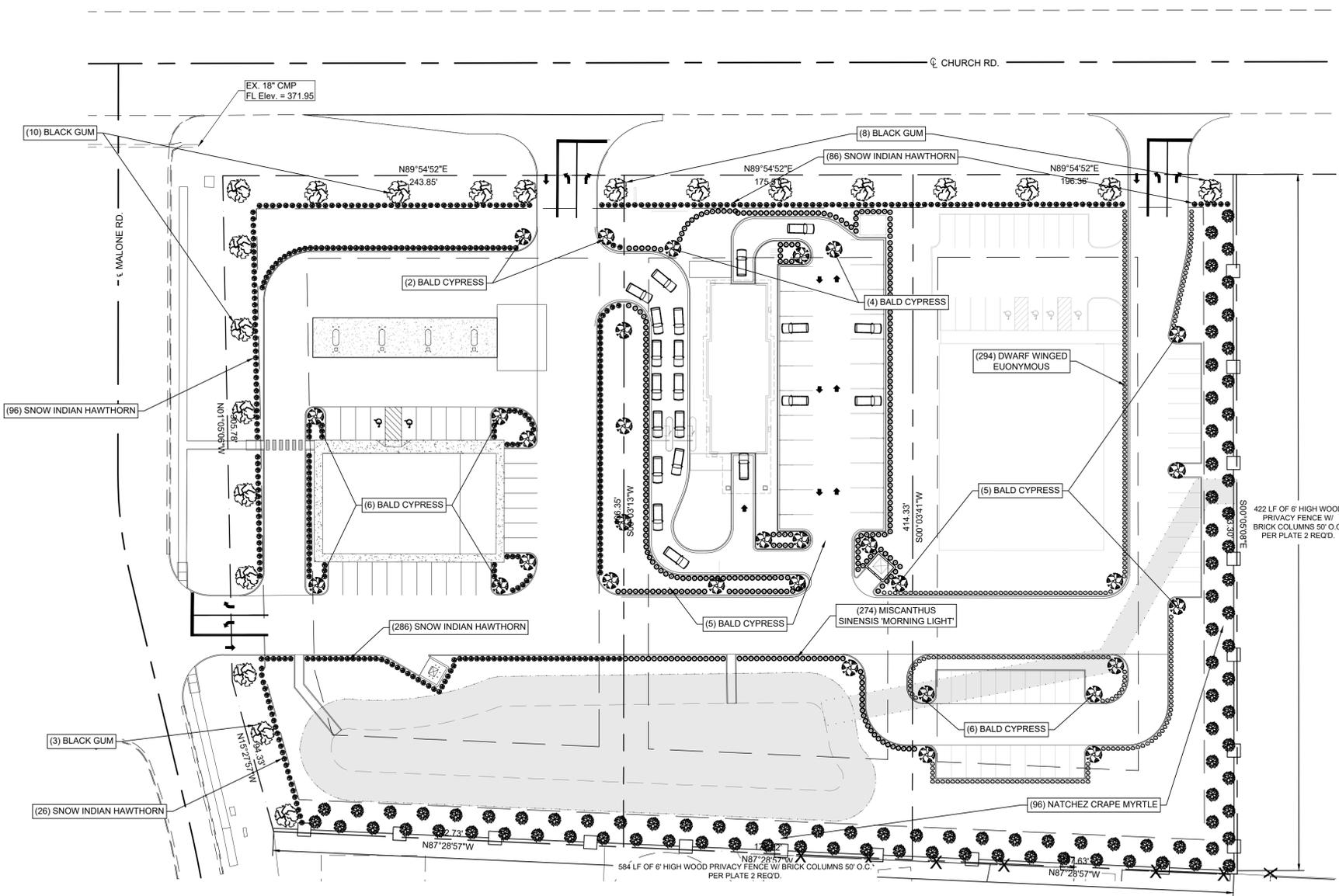
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DATE:	NOV. 2024
DSGN.:	B. HOUSTON
DWG. BY:	A.R. MCCACHREN
CHK.:	B. HOUSTON
APVD.:	B. HOUSTON

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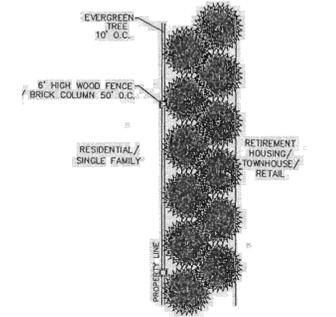
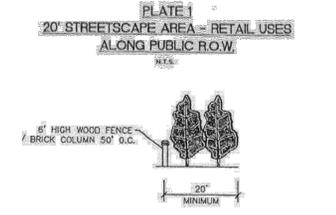
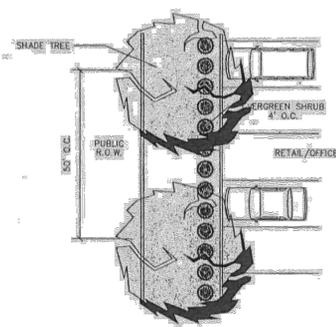
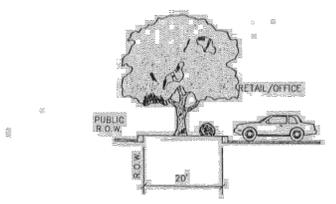
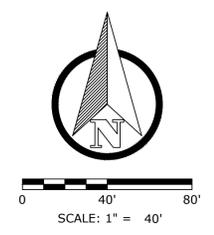
**C3.0**  
 SHEET 7 OF 35

DATE	DESCRIPTION	BY	APVD	DATE	DESCRIPTION	BY	APVD	DATE	DESCRIPTION	BY	APVD
6/6/25	ISSUE FOR REVIEW	ARM	JBH								

# EXHIBIT Q' - PRELIMINARY LANDSCAPE PLAN



- PLANTING NOTES:**
- Plants shall be nursery grown and material shall conform to the latest edition of American Standard for nursery stock (ANSI-S60.1), as published by the American Association of Nurserymen.
  - Roots balls shall conform to A.A.N. Standards. Only natural fiber burlap will be acceptable for wrapping.
  - Ball depths on some trees in a single group may vary. In general, 1/4 the ball should be above grade. But, if depths vary, all trees in a group should set so that the base of the trunks will appear to be at the same relative elevation above grade.
  - Plant locations to staked in field and approved prior to installation.
  - Planting plans shall govern quantities. Any discrepancies or omissions in lists of materials should be reported to the Project Manager.
  - Substitution of plant materials specified can only occur by prior approval of Project Manager.
  - The landscape contractor shall furnish, install and/or dig, ball, burlap and transplant all plant materials listed on the plant schedule. Bareroot planting is not permitted for any tree or shrub.
  - landscape contractor to guarantee plant materials for one growing season following substantial completion per specifications.
  - Establish plant bed configurations. Project Manager to approve bed layout in field. Prepare plant beds per specifications.
  - In event of planting beds and mulch being required, the contractor shall install black fiber mesh under the mulch to prevent weed growth.
  - Verification of total quantities as shown on the plant list shall be the responsibility of the planting contractor and the total quantities shall be as required on the planting plan.
  - B&B as Listed under 11 Root11 in the plant list indicated balled and burlapped.
  - All plants shall bear the same relationship to finished grade as it bore to grade in nursery.
  - Typical planting backfill mixture shall consist of 1 part ground pine bark to 4 parts existing soil with Agriform 11 20-1-5 formulation (or equal) at manufacturer's rate.
  - All root balls removed from containers shall be scarified prior to backfilling.
  - Tree wrap is to be used on thin bark species only (such as maples).
  - No deciduous or evergreen trees will be accepted if there is more than one li ader unless the tree is specified as multi-trunk.
  - All disturbed lawn areas shall be sodded.

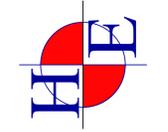


**PLATE 2**  
20' LANDSCAPE AREA BETWEEN  
RETAIL/RETIREMENT/SINGLE FAMILY  
RESIDENTIAL

**1** SITE LANDSCAPING PLAN  
L1.0 SCALE: 1" = 40'

QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	NOTES
<b>TREES</b>						
96		LAGAESTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	6'-8" ht. 2" ea.	As illustrated	3 cane min. multi-trunk
29		TAXODIUM DISTINCTUM	BALD CYPRESS	2.5" calip.	As illustrated	Single, straight leader, matching
21		NYSSA SALVATICA	BLACK GUM	2.5" calip.	As illustrated	Single, straight leader, matching
<b>SHRUBS</b>						
428		RAPHIOLEPSIS INDICA 'SNOW'	SNOW INDIAN HAWTHORN	3 gal.	4' O.C.	Full, well-shaped
274		MISCANTHUS SINENSIS 'MORNING LIGHT'	NORTHWIND SWITCHGRASS	3 gal.	3' O.C.	Full, well-shaped
294		EUONYMUS ATATUS 'COMPACTA'	DWARF WINGED EUONYMOUS	3 gal.	3' O.C.	Full, well-shaped
<b>GROUND COVER</b>						
580		LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	4" pots	12" O.C.	Full, well-shaped

**HOUSTON ENGINEERING**  
Engineering, Surveying, and Environmental Services  
P.O. Box 3087  
Oxford, Mississippi 38655  
Phone: (662) 647-1312  
E-mail: byron@houstonengr.com



**PLEASANT HILL LAND & DEV.**  
**ROBINSON CROSSING COMMERCIAL**  
CHURCH ROAD, OLIVE BRANCH, MS 38654  
SITE LANDSCAPING PLAN

SCALE: AS SHOWN  
JOB NO.: 224-194.001  
DATE: NOV. 2024  
DSGN.: M.S. KING  
DWG. BY: M.S. KING  
CHK.: B. HOUSTON  
APVD.: B. HOUSTON

VERIFY SCALES  
BASE DIMENSIONS ON  
ORIGINAL DRAWING  
DIMENSIONS ARE IN  
FEET UNLESS OTHERWISE  
NOTED OTHERWISE

L1.0  
SHEET 22 OF 35

DATE	DESCRIPTION	BY	APVD	DATE	DESCRIPTION	BY	APVD	DATE	DESCRIPTION	BY	APVD
6/6/25	ISSUE FOR REVIEW	ARM	JBH								

EXHIBIT R



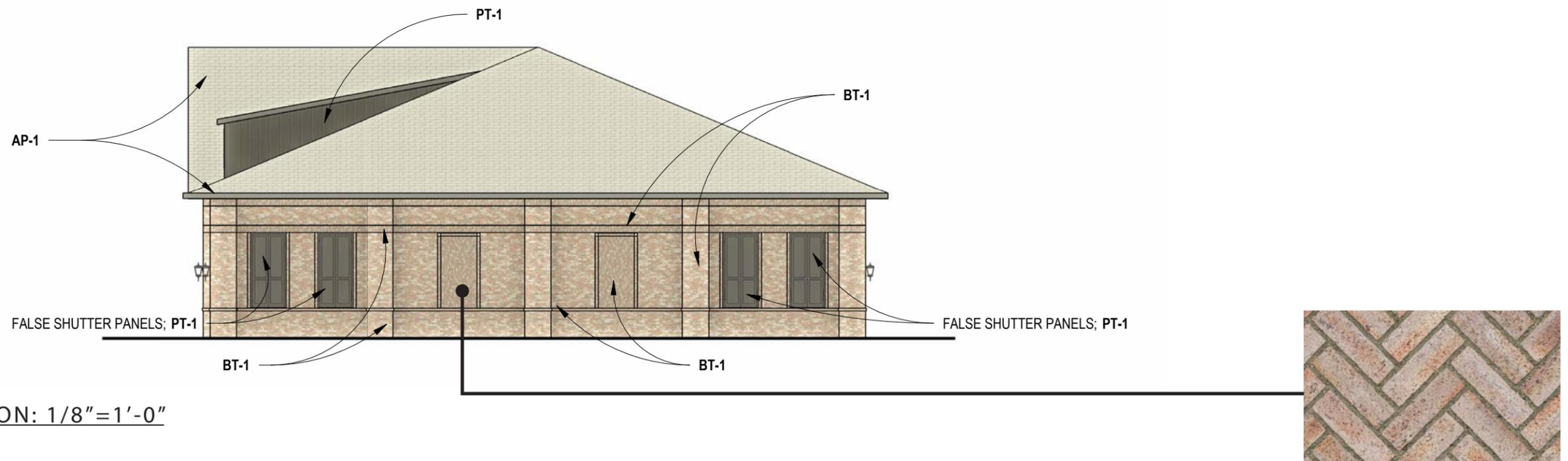
EXTERIOR RENDERINGS: FUEL CANOPY N.T.S.

UrbanARCH

# EXHIBIT S



NORTH ELEVATION: 1/8"=1'-0"



WEST ELEVATION: 1/8"=1'-0"

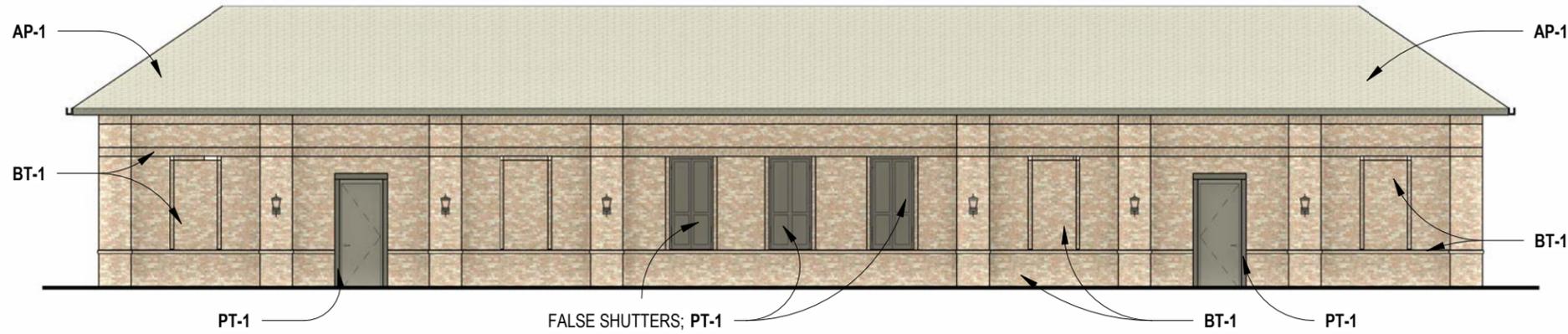
EXTERIOR ELEVATION MATERIALS N.T.S.

UrbanARCH

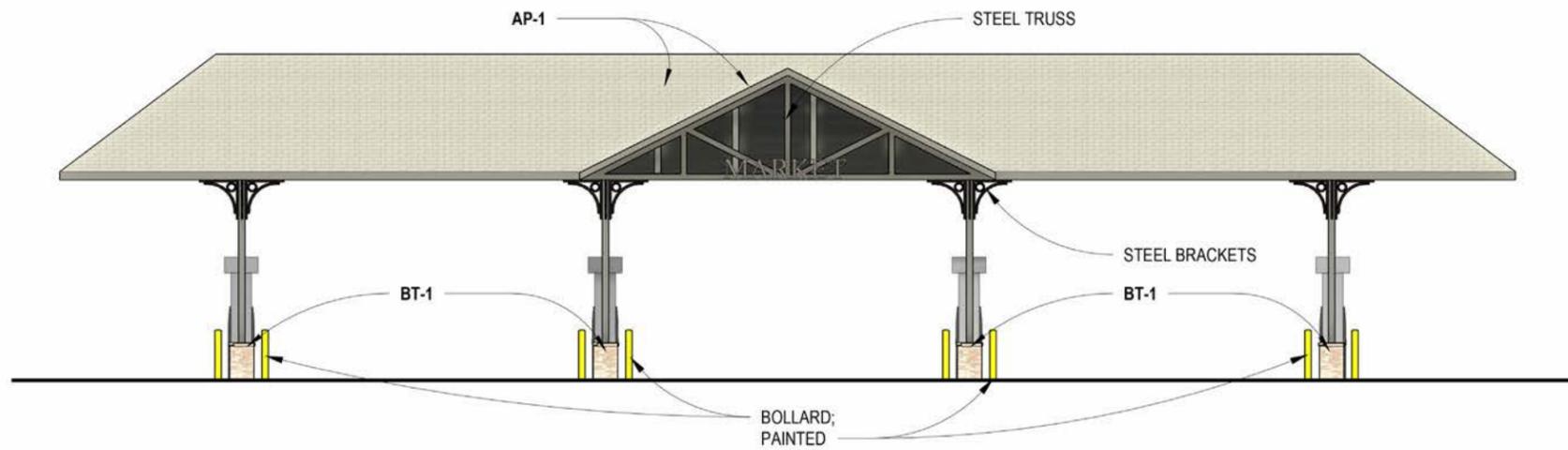
# EXHIBIT S

**Material Legend:**

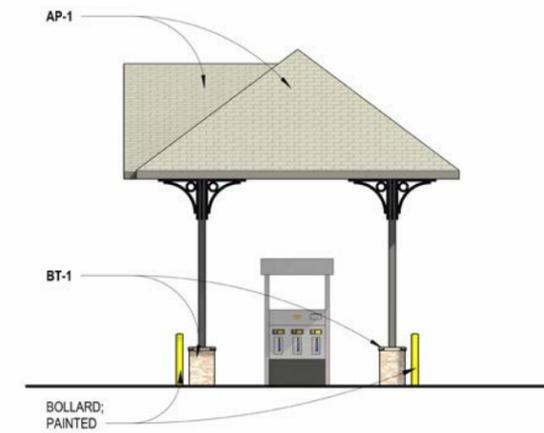
- BT-1: General Shale Spalding Tudor - Modular  
Mortar: Spec Mix - Freedom Gray
- PT-1: Hardie Trim Board - Smooth  
Sherwin Williams - SW7073 Brainstorm Bronze
- GL-1: Windsor Pinnacle Select Casement  
3 over 4 Lites - Bronze
- AP-1: Architectural Shingle



SOUTH ELEVATION: 1/8" = 1'-0"



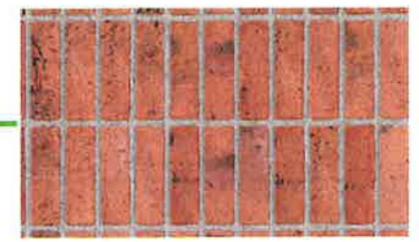
FRONT (NORTH) ELEVATION: 1/8" = 1'-0"



SIDE ELEVATION: 1/8" = 1'-0"

## EXTERIOR ELEVATION MATERIALS

EXHIBIT T



WEST ELEVATION: 1/8"=1'-0"

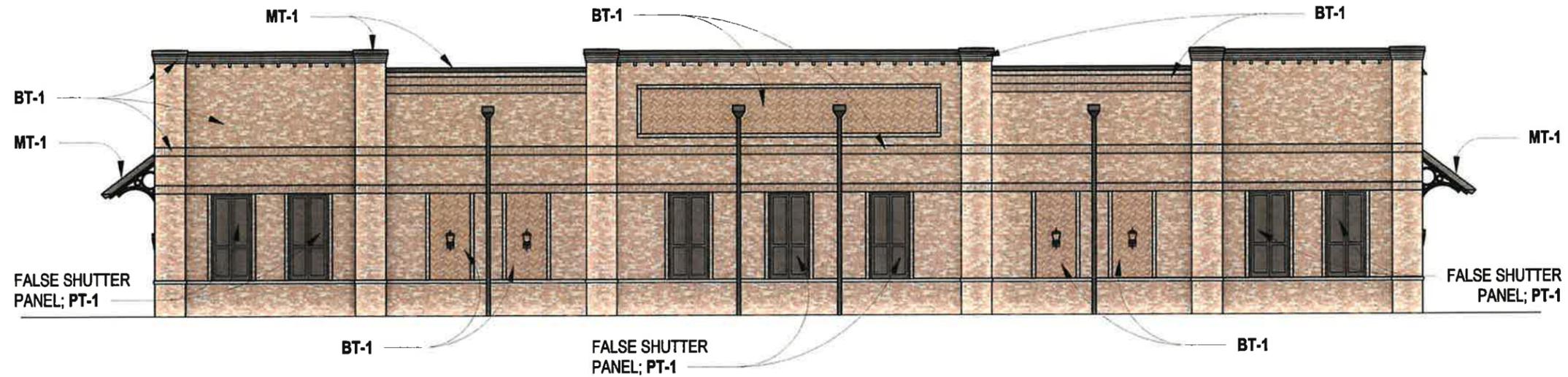


NORTH ELEVATION: 1/8"=1'-0"

EXTERIOR ELEVATION MATERIALS N.T.S.

UrbanARCH

# EXHIBIT T



EAST ELEVATION: 1/8"=1'-0"



SOUTH ELEVATION: 1/8"=1'-0"

**Material Legend:**

BT-1:	General Shale Spalding Tudor - Modular Mortar: Spec Mix - Freedom Gray
PT-1:	Hardie Trim Board - Smooth Sherwin Williams - SW7073 Brainstorm Bronze
GL-1:	Windsor Pinnacle Select Casement 3 over 4 Lites - Bronze
MT-1:	Pac-Clad - Burnished Slate

EXHIBIT T



EXTERIOR RENDERINGS: CAR WASH N.T.S.

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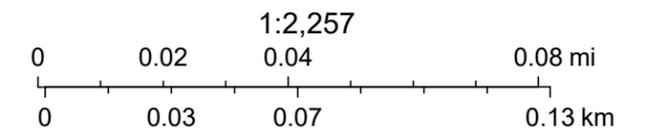
# CURRENT ZONING MAP



12/3/2025, 6:04:21 PM

Zoning	C-5	MAIN STREET DISTRICT	R-1	R-20	R-40 OVERLAY	RM-8
A	CM OVERLAY	O	R-10	R-20 OVERLAY	R-6	RO
A-R	ER	PB	R-12	R-3	R-6 OVERLAY	PointAddresses
A-R OVERLAY	HISTORIC DISTRICT OVERLAY	PBP	R-12 OVERLAY	R-30	R-8	County Outline
C-1	M-1	PO	R-15	R-30 OVERLAY	R-8 OVERLAY	Tax Parcels
C-2	M-2	PUD	R-15 OVERLAY	R-4	R-9	<all other values>
C-3	M-3	PUD OVERLAY	R-2	R-40	RM-6	PRELIMINARY 2024 LANDROLL
C-4						PRELIMINARY 2025 LANDROLL

Roads
Interstate
US Highway
State Highway
Local Road
Private Road
Ramp
IH



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user